



## AGENDA

Thursday, August 28, 2014

6:30 P.M.

### REGULAR MEETING PLANNING COMMISSION

Council Chambers  
211 Hillcrest Avenue  
Marina, California

#### VISION STATEMENT

Marina will grow and mature from a small town bedroom community to a small city which is diversified, vibrant and through positive relationships with regional agencies, self-sufficient. The City will develop in a way that insulates it from the negative impacts of urban sprawl to become a desirable residential and business community in a natural setting. **(Resolution No. 2006-112 - May 2, 2006)**

#### MISSION STATEMENT

The City Council will provide the leadership in protecting Marina's natural setting while developing the City in a way that provides a balance of housing, jobs and business opportunities that will result in a community characterized by a desirable quality of life, including recreation and cultural opportunities, a safe environment and an economic viability that supports a high level of municipal services and infrastructure. **(Resolution No. 2006-112 - May 2, 2006)**

1. CALL TO ORDER 
2. ROLL CALL & ESTABLISHMENT OF QUORUM (Planning Commission Members)  
David Burnett, Margaret Davis, Eugene Doherty, Greg Furey, Tim Ledesma, Virgil Piper, Ken Turgen
3. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE (Please stand)
4. SPECIAL ANNOUNCEMENTS AND COMMUNICATIONS FROM THE FLOOR: *Announcements of special events or meeting of interest as information to Board and Public. At this time any person may comment on any item, which is not on the agenda. Please state your name and address for the record. Action*

*will not be taken on an item that is not on the agenda. If it requires action, it will be referred to staff and/or placed on the next agenda. Planning Commission members or City staff may briefly respond to statements made or questions posed as permitted by Government Code Section 54954.2. In order that all interested parties have an opportunity to speak, please limit comments to a maximum of Four (4) minutes. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the Planning Commission.*

5. **CONSENT AGENDA:** *Background information has been provided to the Planning Commission on all matters listed under the Consent Agenda, and these items are considered to be routine. All items under the Consent Agenda are normally approved by one motion. If discussion is requested by anyone on any item, that item will be removed from the Consent Agenda and placed at the end of Other Action Items if separate action is requested.*

- a. Minutes for the July 10, 2014 Special Planning Commission meeting

6. **PUBLIC HEARINGS:** *Time will be set aside during the Public Hearing to receive oral comments on all items listed as Public Hearings. Staff will present the project brought forth for Planning Commission consideration and possible action and answer questions from the Planning Commissioners. The applicant will then have the opportunity to raise any issues. The public will then be invited to approach the podium to provide up to four (4) minutes of public testimony.*

It is requested that the Planning Commission:

- a. Open a public hearing, take any testimony from the public, and consider:

1. Resolution No. 2014- , approving Conditional Use Permit UP 2014-01 to allow a church within the Multiple-Family Residential (R-4) Zoning District, and; approving Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for a ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue at Hayes Circle, subject to conditions, and;

2. Resolution No. 2014- , making a determination that the above-noted project is consistent with the Fort Ord Base Reuse Plan.

7. **OTHER ACTION ITEMS:** *Action listed for each Agenda item is that which is brought forth for Planning Commission consideration and possible action. The Planning Commission may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*

- a. None

8. COMMISSIONERS AND STAFF INFORMATIONAL REPORTS:

- a. City Council, Design Review Board, Tree Committee and other meetings of note.
- b. Upcoming items scheduled for future meetings.
- c. Ad Hoc Committee

9. CORRESPONDENCE:

- a. None

10. ADJOURNMENT

CERTIFICATION

I, Judy Paterson, Administrative Assistant for the City of Marina, do hereby certify that a copy of the foregoing agenda was posted at Marina City Council Chambers bulletin board, 211 Hillcrest Avenue; City Kiosk at the corner of Del Monte Boulevard and Reservation Road; and Monterey County Free Library Marina Branch at 190 Seaside Circle on or before 6:30 p.m. Monday, August 25, 2014.

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Judy Paterson, Administrative Assistant II  
Planning Services Division  
Community Development Department

PLANNING COMMISSION NOTES:

- 1. The Marina Planning Commission regularly meets at 6:30 P.M. on the second and fourth Thursdays of each month.
- 2. The Planning Commission follows procedures intended to allow for project applicants and members of the public the fullest possible opportunity to be heard, while enabling the Commission to complete its meetings within a reasonable time.
- 3. Copies of staff reports are available to the public on the Friday afternoon, prior to the Thursday meetings at the Community Development Department office located at 209 Cypress Avenue.
- 4. Planning Commission subcommittees include the Marina Design Review Board (DRB) and Tree Committee. The DRB regularly meets at 6:30 P.M. on the third Wednesday of each month and the Tree Committee meets quarterly on the 2<sup>nd</sup> Wednesday of January, April, July and October... All meetings take place in the Council Chambers unless otherwise noticed... Public notices and agendas are posted at the following locations: Monterey County Library Marina Branch, Kiosk at the corner of Del Monte Blvd. and Reservation Rd., and Marina City Council Chambers Bulletin Board.
- 5. The public is invited and encouraged to participate in all meetings of the Planning Commission and its subcommittees.
- 6. ALL MEETINGS ARE OPEN TO THE PUBLIC. THE CITY OF MARINA DOES NOT DISCRIMINATE AGAINST PERSONS WITH DISABILITIES. Council Chambers are wheelchair accessible. Meetings are broadcast on cable channel 25 and recordings of meetings can be provided upon request. To request assistive listening devices, sign language interpreters, readers, large print agendas or other accommodations, please call (831) 884-1278 or e-mail: [marina@ci.marina.ca.us](mailto:marina@ci.marina.ca.us). Requests must be made at least **48 hours** in advance of the meeting.



**MINUTES**

**Thursday, July 10, 2014**

**6:30 P.M.**

**REGULAR MEETING  
PLANNING COMMISSION**

**Council Chambers  
211 Hillcrest Avenue  
Marina, California**

1. CALL TO ORDER
2. ROLL CALL & ESTABLISHMENT OF QUORUM (Planning Commission Members)  
Margaret Davis, Eugene Doherty, Greg Furey, Tim Ledesma, Virgil Piper, Ken Turgen  
  
Members Absent: David Burnett (excused)
3. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE
4. SPECIAL ANNOUNCEMENTS AND COMMUNICATIONS FROM THE FLOOR: None
5. CONSENT AGENDA:
  - a. Minutes for the June 19, 2014 Special Planning Commission meeting

Commissioner Piper made a motion to approve the minutes from June 19, 2014. The motion was seconded by Commissioner Ledesma and passed by a 5-0-1(Burnett)-1(Davis) vote.

6. PUBLIC HEARINGS:

It was requested that the Planning Commission:

- a. Open a public hearing, take any testimony from the public, and consider adopting Resolution No. 2014- : (1) certifying a Mitigated Negative Declaration and adopting a Mitigation and Monitoring Program, and; (2) approving Coastal Development Permit CDP 2012-05, for the California American Water Slant Test

Well Project located at CEMEX's Lapis Road property (APN 203-011-001 & 203-011-019).

Ms. Szymanis gave a brief presentation and introduced Emily Creel, Environmental Planner with SWCA Environmental Consultants who prepared the Initial Study/Mitigated Negative Declaration on behalf of the City.

Ms. Creel presented information about the slant test well project including the history, purpose and need for the development and operation of a short-term test pumping and monitoring program to gather information on the geologic, hydrogeologic, and water quality characteristics of the project area.

Ms. Creel then discussed potential significant impacts of the project and introduced additional SWCA staff members who addressed issues of biological and cultural resources. Further impacts and mitigation measures were discussed regarding geology and soils, hazardous materials, salt water intrusion, well drawdown and erosion.

Vice-Chair Turgen opened the public hearing.

Ian Crooks, Engineering Manager for Cal-Am supported staff's recommendation for approval.

Jody Hanson, Monterey Peninsula Chamber of Commerce, read a letter requesting approval signed by a coalition of businesses, mayors of Peninsula cities, labor councils, water agencies and chambers of commerce.

Jan Shriner, Marina resident and board member of the Marina Coast Water District, expressed a concern with the proximity of the proposed test wells to the sewage outfall, recommended denial of the request and relocating the project.

Steve Emerson, Marina resident, addressed economic impacts of many Marina residents who are employed by the hospitality industry on the Monterey Peninsula. He encouraged approval of the request.

Paul Bruno, Marina business owner, emphasized the current impact on the Carmel River and recommended approving the test well project.

Patti Bradshaw, Marina resident, spoke in support of the proposed project.

The public hearing was closed.

Discussion returned to the dais where commissioners expressed concerns that included impacts to the Marina Coast Water District, the effect on and benefit to Marina citizens, economic impacts, and whether the initial study and mitigation monitoring plan were adequate to address the impacts.

Commissioner Piper made a motion to approve (1) the certification of a Mitigated Negative Declaration and adopting a Mitigation and Monitoring Program. The motion was seconded by Vice-Chair Turgen and failed by a 2-4(Davis, Doherty, Furey, Ledesma)-1(Burnett)-0 vote.

A vote was taken on (2) approving Coastal Development Permit CDP 2012-05, for the California American Water Slant Test Well Project. The motion failed by a 1-5(Davis, Doherty, Furey, Ledesma, Piper)-1(Burnett)-0 vote.

Commissioner Davis made a motion to deny the certification of a Mitigated Negative Declaration and the adoption of the Mitigation and Monitoring Program. The motion was seconded by Commissioner Ledesma. By a tie vote of 3-3-(Furey, Piper, Turgen)-1(Burnett)-0, no action was taken.

No further action was taken on the item.

7. OTHER ACTION ITEMS:

a. None

8. COMMISSIONERS AND STAFF INFORMATIONAL REPORTS:

a. None

9. CORRESPONDENCE:

a. None

10. ADJOURNMENT

The meeting was adjourned at 8:13 p.m.

ATTEST:

\_\_\_\_\_  
Kenneth Turgen, Vice-Chair

\_\_\_\_\_  
Judy Paterson, Admin. Assistant II

\_\_\_\_\_  
DATE

August 21, 2014

Item No.

Honorable Members  
of the Marina Planning Commission

Planning Commission Meeting of  
August 28, 2014

**PLANNING COMMISSION CONSIDER: (1) ADOPTING RESOLUTION NO. 2014- , APPROVING CONDITIONAL USE PERMIT UP 2014-01 TO ALLOW A CHURCH WITHIN THE MULTIPLE-FAMILY RESIDENTIAL (R-4) ZONING DISTRICT, AND; APPROVING SITE AND ARCHITECTURAL DESIGN REVIEW DR 2014-04 FOR THE SITE PLAN, BUILDING ELEVATIONS, LANDSCAPE PLAN, AND COLORS AND MATERIALS FOR A ±19,411 SQUARE FOOT CHURCH MEETING HOUSE ON A ±5.8 ACRE PROJECT SITE LOCATED AT 3<sup>RD</sup> AVENUE AND HAYES CIRCLE, SUBJECT TO CONDITIONS, AND; (2) ADOPTING RESOLUTION NO. 2014- , MAKING A DETERMINATION THAT THE ABOVE NOTED PROJECT IS CONSISTENT WITH THE FORT ORD BASE REUSE PLAN**

**REQUEST:**

It is requested that the Planning Commission consider:

1. Adopting Resolution No. 2014- , approving Conditional Use Permit UP 2014-01 to allow a church within the Multiple-Family Residential (R-4) Zoning District, and; approving Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for a ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue and Hayes Circle, subject to conditions, and;
2. Adopting Resolution No. 2014- , making a determination that the above-noted project is consistent with the Fort Ord Base Reuse Plan.

**BACKGROUND:**

The subject property is located on Third Avenue, north of Imjin Road at Hayes Circle in the Cypress Knolls project area.

At the regular meeting of November 8, 2006, the Marina City Council adopted Resolutions No. 2006-284 through 2006-290 entitling the Cypress Knolls project, a ±188-acre site located west of California Avenue, south of Abrams/Patton Parkway, north of Imjin Parkway, and east of Highway One (APN's 031-201-005 and 031-021-048). This included certification of the Cypress Knolls Environmental Impact Report (EIR) (State Clearinghouse #2004081113), and approval of General Plan Land Use Map and text amendments; a Tentative Map; a Use Permit for a Planned Unit Development; Design Guidelines for redevelopment and reuse of the site; a Tree Removal Permit for the removal of 1,076 trees; a water allocation; and a finding that the legislative land use approvals for the Cypress Knolls project are consistent with the Fort Ord

Base Reuse Plan.

Also on November 8, 2006, the Marina City Council adopted Ordinances 2006-16 through 2006-18, approving a Zoning Map amendment; changes to MMC Chapter 17.54, Development Standards for Condominium/Planned Unit Development Projects and Condominium Conversions; and approving a Development Agreement with Cypress Knolls, LLC for the Cypress Knolls project.

This project has not yet been constructed.

At the regular meeting of March 26, 2013, the Marina City Council adopted Resolution No. 2013-30, approving an Exclusive Negotiating Agreement (ENA) between the City of Marina and the Church of Jesus Christ of Latter-day Saints (LDS Church) for disposition and development of a portion, not to exceed 6.5 acres, of property located within the Cypress Knolls project area.

On March 10, 2014, Fuse Architects, Inc., on behalf of the applicant, the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints submitted a complete application for a Conditional Use Permit and Site and Architectural Design Review for the proposed ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue and Hayes Circle. Facilities within the church include the chapel, meeting rooms, offices, a food serving (not cooking) area, and a multi-purpose basketball court/cultural hall/dance floor/dining area with a stage. The building also houses bishop and clerk offices and records rooms. There are no employees.

The church meeting house will be used primarily for Sunday morning and afternoon church services (from 9:00 a.m. to 5:00 p.m.) with a maximum building occupancy of 300 to 400 persons. On weekdays the classrooms are will be in use for seminary (5:45 to 7:00 a.m.) and in the evenings for smaller group such as relief society, leadership meetings, youth scout meetings and YM/YW meetings. Special events such as baptisms, weddings, and ward dinners/congregation parties will be held occasionally for members of the congregation.

The proposed LDS Church Project was designed to maintain consistency with and implement the approved entitlement documents for the Cypress Knolls Project (General Plan amendment, Tentative Map, EIR and Mitigation and Monitoring Program).

At the regular meeting of March 19, 2014, the Marina Site and Architectural Design Review Board adopted Resolution No. 2014-02, recommending Planning Commission approval of Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for the proposed project, subject to conditions.

The attached Plan Set and photo simulations (“**EXHIBIT A**”) show the existing and proposed installations.

### **ANALYSIS:**

#### **PARCEL MAP**

An application for a Parcel Map has been prepared to create a ±5.8 acre parcel from the existing ±20.16 acre parcel and allow for conveyance of the property from the City of Marina to the LDS

Church. This parcel will be consistent with the parcel delineated in the approved Tentative Map for the Cypress Knolls Project. The approval of the Parcel Map is an administrative function.

**DISPOSITION AND DEVELOPMENT AGREEMENT**

The subject parcel was acquired by the City of Marina from the former Redevelopment Agency. A Disposition and Development Agreement (DDA) has been prepared for approval by Marina City Council. The DDA will set the negotiated price for the sale of the property, ensure the payment of all related impact and mitigation fees and establish tasks and milestones to ensure that redevelopment of the property is carried out in a mutually determined manner.

**CONSISTENCY WITH THE MARINA GENERAL PLAN**

The subject property is designated as ‘Multi-Family Residential’ on the General Plan Land Use Map. Surrounding land uses include future ‘Single Family Residential’ uses to the north, east and west; and existing ‘Public Facilities’ (Monterey Peninsula College and Monterey County Health Clinic) to the south.

The project site is identified within the Housing Element of the General Plan as a housing site towards helping the City of Marina achieve its housing targets. The housing will be integrated elsewhere within the Cypress Knolls Project. Thus, adequate sites remain to accommodate the City’s overall Regional Housing Needs Allocation (RHNA) numbers.

**ZONING ORDINANCE AND CONDITIONAL USE PERMIT REQUIREMENT**

The subject property is located within the ‘Multiple Family Residential’ (R-4) Zoning District. In accordance with Marina Municipal Code (MMC) Section 17.20.030 C, churches are permitted within the R-4 Zone, subject to first securing a Conditional Use Permit.

Development standards within MMC Chapter 17.20, Multiple Family Residential District are applicable to the subject property. As shown in Table 1, below, the site is compliant with the Zoning Ordinance requirements.

**Table 1  
Compliance with Development Standards**

<b>Marina Municipal Code Section</b>	<b>Requirement</b>	<b>Proposal</b>
17.20.060, Building Height	Maximum 42’	27’ - 29’
17.06.060, Height of Architectural Appurtenances and Spires	May be erected to a greater height than the limit established for the district in which the building is located	70’
17.20.100, Site Coverage	Up to 60%’	7%
17.20.110, Front Yard	12’	>12’
17.20.120, Side Yard	5’	>5’
17.20.130, Rear Yard	20’	>20’
Chapter 17.44.050, Parking	162	193

**SITE AND ARCHITECTURAL DESIGN REVIEW**

The Site Plan, Building Elevations, Landscape Plan, and Colors and Materials have been reviewed by the Site and Architectural Design Review Board (DRB) on March 19, 2014 and DRB requested Conditions of Approval relating to the design of the parking lot area have been addressed within the revised Plan Set.

### Site Plan

The Site Plan (*Sheet A001*) shows the front and center location of the church on the subject parcel. A number of mature cypress and pine trees exist to the north and south of the development area on the property. The project has been designed to incorporate these trees and there will be no tree removal or relocation required.

Two driveways to Third Avenue are provided, one north and one south of the church, with the northern access aligned between several large cypress trees. One hundred and ninety-three (193) standard-sized, parking stalls constructed of pervious concrete are located at the sides and the rear of the property (including 6 ADA accessible stalls) abutting 26' wide drive aisles. A pedestrian bridge directs through the parking lot bio-swales to sidewalks circling the church gardens.

In the future, Class II bicycle lanes will be provided on 3<sup>rd</sup> Avenue to the southern property boundary, connecting to the Class I bicycle paths on Imjin Parkway. The nearest Monterey Salinas Transit (MST) bus stops are for the #17, located at Imjin Parkway and Third Avenue heading to the Marina Transit Exchange, or in front of the Dunes Shopping Center to connect to CSUMB.

The Trails and Circulation Plan adopted for the Cypress Knolls project shows the proposed bike paths and trail to the north and west of, and not traversing, the subject site.

The existing chain link fence at the southern property boundary would remain. No new fencing is proposed.

### Elevations

The proposed design for the Marina LDS Church Meeting House (*Sheets A201 and A202*) is unique. As depicted in the color simulations (*Sheet A000a*), this LEED equivalent building diverges from the traditional templates in its progressive use of contemporary building materials and one of a kind steeple design.

The rectangular building mass is broken up by horizontal tiering at different heights. The illusion of great height is created by vertical elements including a 25' high sheet glass windows, a recessed main entry clad in western red cedar, and an aluminum steeple and spire projecting  $\pm 40'$  above the roofline. A trinity of vertical panels of corten steel siding distinguishes the steeple. The vertical elements punctuate a polished backdrop of 'Black Opal' Swiss Pearl cement composite panels and ground face CMU that will be mixed to the architects color specifications.

A sample board of the construction materials (*Materials Study 3.4.14*) will be provided at the August 28, 2014 meeting.

### Landscape Plan

The applicant has also prepared a Landscape Plan (*Sheets L1.0 and L1.1*) for review by the Site and Architectural Design Review Board.

In addition to trees to be retained on site, an additional 46 trees will be planted in gardens surrounding the church meeting house, on the periphery of the parking lot, and within the bio-

swales that serve the dual purposes of aesthetics and storm-water infiltration. All of trees to be planted appear on the City of Marina Recommended List of Preferred Trees, approved by the Site and Architectural Design Review Board and the Planning Commission in 2009.

Trees native to Marina and the Monterey Peninsula account for about 63% of the proposed plantings and include 13 new strawberry trees, 7 Monterey cypress, and 9 coast live oak (29 trees). The only non-native proposed is the New Zealand Christmas tree (17 trees).

1,210 shrubs and over 950 grasses are proposed. With the exception of lion's tail (31 plants), all shrubs are native to either the Monterey Peninsula or California. Plants include manzanitas, bearberry, coyote brush and wild lilac, many of which may be found in the native coastal chaparral. All are drought tolerant, deer proof and several have colorful, butterfly and wildlife attracting flowers. The proposed grasses are also predominantly native to California (66%).

#### CALIFORNIA ENVIRONMENTAL QUALITY ACT

On November 8, 2006 the Marina City Council adopted Resolution No. 2006-283, certifying an Environmental Impact Report (EIR) (State Clearinghouse #2004081113) for the Cypress Knolls project including the project site. Technical studies have been prepared by qualified professionals and staff have ascertained that the project does not fall within the parameters established by Section 15162(a)(A) through (D) of the California Environmental Quality Act (CEQA). Therefore an informal Addendum to the certified EIR has been prepared for this project and placed on file.

#### **CONCLUSION:**

This request is submitted for Planning Commission consideration and possible action.

Respectfully submitted,

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Theresa Szymanis, AICP CTP  
Planning Services Manager  
City of Marina

#### **REVIEWED/CONCUR:**

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Christine di Iorio, AICP  
Community Development Director  
City of Marina

RESOLUTION NO. 2014-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MARINA APPROVING CONDITIONAL USE PERMIT UP 2014-01 TO ALLOW A CHURCH WITHIN THE MULTIPLE-FAMILY RESIDENTIAL (R-4) ZONING DISTRICT, AND; APPROVING SITE AND ARCHITECTURAL DESIGN REVIEW DR 2014-04 FOR THE SITE PLAN, BUILDING ELEVATIONS, LANDSCAPE PLAN, AND COLORS AND MATERIALS FOR A ±19,411 SQUARE FOOT CHURCH MEETING HOUSE ON A ±5.8 ACRE PROJECT SITE LOCATED AT 3<sup>RD</sup> AVENUE AND HAYES CIRCLE, SUBJECT TO CONDITIONS

WHEREAS, at the regular meeting of November 8, 2006, the Marina City Council adopted Resolutions No. 2006-284 through 2006-290 entitling the Cypress Knolls project, a ±188-acre site located west of California Avenue, south of Abrams/Patton Parkway, north of Imjin Parkway, and east of Highway One (APN's 031-201-005 and 031-021-048), and the Cypress Knolls project has not yet been constructed, and;

WHEREAS, at the regular meeting of March 26, 2013, the Marina City Council adopted Resolution No. 2013-30, approving an Exclusive Negotiating Agreement (ENA) between the City of Marina and the Church of Jesus Christ of Latter-day Saints (LDS Church) for disposition and development of a portion, not to exceed 6.5 acres, of property located within the Cypress Knolls project area, and;

WHEREAS, on March 10, 2014, Fuse Architects, Inc., on behalf of the applicant, the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints submitted a complete application for a Conditional Use Permit and Site and Architectural Design Review for a proposed ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue and Hayes Circle. Facilities within the church include the chapel, meeting rooms, offices, a food serving (not cooking) area, and a multi-purpose basketball court/cultural hall/dance floor/dining area with a stage. The church meeting house will be used primarily for Sunday morning and afternoon church services (from 9:00 a.m. to 5:00 p.m. with a maximum occupancy of 300 to 400 persons. There are no employees, and;

WHEREAS, the proposed LDS Church Project was designed to maintain consistency with and implement the approved entitlement documents for the Cypress Knolls Project, and;

WHEREAS, at the regular meeting of March 19, 2014, the Marina Site and Architectural Design Review Board adopted Resolution No. 2014-02, recommending Planning Commission approval of Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for the proposed project, subject to conditions, and;

WHEREAS, an application for a Parcel Map has been prepared to create a ±5.8 acre parcel from the existing ±20.16 acre parcel and allow for conveyance of the property from the City of Marina to the LDS Church, and;

WHEREAS, a Disposition and Development Agreement (DDA) has been prepared for approval by Marina City Council to set the negotiated price for the sale of the property, ensure the payment of all related impact and mitigation fees and establish tasks and milestones to ensure that redevelopment of the property is carried out in a mutually determined manner, and;

WHEREAS, The project site is identified within the Housing Element of the General Plan as a housing site towards helping the City of Marina achieve its housing targets. The housing will be integrated elsewhere within the Cypress Knolls Project. Thus, adequate sites remain to accommodate the City's overall Regional Housing Needs Allocation (RHNA) numbers, and;

WHEREAS, the subject property is located within the 'Multiple Family Residential' (R-4) Zoning District and in accordance with Marina Municipal Code (MMC) Section 17.20.030 C, churches are permitted within the R-4 Zone, subject to first securing a Conditional Use Permit, and;

WHEREAS, the project, as proposed, is compliant with the development standards within MMC Chapter 17.20, Multiple Family Residential District, and;

WHEREAS, on November 8, 2006 the Marina City Council adopted Resolution No. 2006-283, certifying an Environmental Impact Report (EIR) (State Clearinghouse #2004081113) for the Cypress Knolls project including the project site, and technical studies have been prepared by qualified professionals and staff have ascertained that the project does not fall within the parameters established by Section 15162(a)(A) through (D) of the California Environmental Quality Act (CEQA), and therefore an informal Addendum to the certified EIR has been prepared for this project and placed on file, and;

WHEREAS, on September 13, 2012, the Planning Commission conducted a duly noticed Public Hearing to consider adopting Resolution No. 2014- , approving Conditional Use Permit UP 2014-01 to allow a church within the Multiple-Family Residential (R-4) Zoning District, and; approving Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for a ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue and Hayes Circle, considered all public testimony, written and oral, presented at the public hearing, received and considered the written information and recommendation of the staff report for the September 28, 2014 meeting related to the proposed use, and;

NOW, THEREFORE BE IT RESOLVED by the Planning Commission of the City of Marina that it hereby approves UP 2014-01 to allow a church within the Multiple-Family

Residential (R-4) Zoning District, and; approving Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for a ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue and Hayes Circle, making the following findings and subject to the following conditions of approval:

Findings

1. Consistency with City Policies and Plans – That, as noted within the staff report dated August 21, 2014, Site and Architectural Design Review DR 2014-04 has been designed consistent with the policies within the Marina General Plan (October 31, 2000 as amended).
2. Conditional Use Permit UP 2014-01 –
  - (a) That, as conditioned, the establishment, maintenance and operation of the building applied for will not be detrimental to health, safety, peace, morals, comfort and general welfare of persons residing or working in the neighborhood of the proposed use, in that the proposed use will allow for redevelopment of a currently vacant site with a church meeting house, and online research shows that churches are known to provide valuable contributions to communities in the areas of direct economic contributions, social services and community volunteering, education and civic skills training and reduced levels of deviance.
  - (b) That the establishment, maintenance and operation of the use applied for will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City, in that the proposed church meeting house will create an appropriate transition between future residential uses to the north and west and institutional uses to the east and south.
3. Site and Architectural Design Review DR 2014-04 - That Site and Architectural Design Review DR 2014-04 has been designed and will be constructed, and so located, that the project, as conditioned, will not:
  - (a) Be unsightly, undesirable or obnoxious in appearance to the extent that it will hinder the orderly and harmonious development of the City, in that the project will redevelop a vacant property in a prominent location at the entry to the Cypress Knolls project site. The project will advance a trend of contemporary architecture using high quality materials integrated with native landscape plantings to create a unique sense of place in Marina.
  - (b) Impair the desirability of tenancy or investment or occupation in the City, in that the church structure and presence will add value to the surrounding area and to the City as a whole and potentially catalyze additional development of former Fort Ord lands.

- (c) Limit the opportunity to obtain the optimum use and value of the land and improvements, in that the project is an appropriate and efficient use of the site that is compatible with the existing “Multi-Family Residential” land use designation, whereby the private developer will contribute through development impact fees to the financial well being of the community.
- (d) Impair the desirability of tenancy or conditions on or adjacent to the subject site, in that the design and placement of the structures will upgrade a vacant redevelopment site and perpetuate a high standard of design for future redevelopment projects in the vicinity.
- (e) Otherwise adversely affect the general welfare of the community, in that the project, for the reasons provided above, will have an overall positive effect on the general welfare of the community.

Conditions of Approval

1. Substantial Compliance - The project shall be accomplished in substantial accordance with the details as specified on “**EXHIBIT A**” attached to this Resolution.
2. Fees - The applicant shall pay all FORA fees, City Development Impact Fees, and its fair share for the construction of Patton Parkway, as identified within the Development and Disposition Agreement for the LDS Church Project.
3. Permits - The applicant shall obtain all required building permits and public improvement permits prior to initiating construction.
4. Indemnification - That the applicant shall agree as a condition of approval of this project to defend, at its sole expense, indemnify and hold harmless from any liability the City and reimburse the City for any expenses incurred resulting from, or in connection with, the approval of the project, including any appeal, claim, suit or legal proceeding. The City may, at its sole discretion, participate in the defense of any such action, but such participation shall not relieve the applicant of its obligations under this condition.
5. Infrastructure Improvements - Pursuant to MMC Chapter 15.36, the applicant shall provide new curb, gutter, and sidewalk along Third Avenue adjacent to the property boundary.
6. Fire Department - Connection locations shall be to the satisfaction of the Fire Chief.
8. Final Landscape Plan – A Final Landscape Plan, substantially consistent with the Preliminary Site Landscape Plan that shall address the following:

- (a) The Final Landscape Plan shall show no less than the currently proposed number of trees, grasses and shrubs with at least 65% California native plantings.
  - (b) Minimum plant sizes for the Final Landscape Plan shall be consistent with landscaping standards for other developments on the former Fort Ord:
    - (i) The box size for planted trees shall be a minimum of 15 gallons with a minimum box size of 24-inch to be planted at key focal points.
    - (ii) Trees shall be spaced at about 30' on-center for larger varieties and about 20' on-center for smaller varieties. In addition, trees shall be a minimum of: 10' away from driveways; 15' from streetlights and traffic control signals; 5' from water, gas and fire service laterals; and 10' from sewer and gas laterals.
    - (iii) The minimum size to plant shrubs is at 5 gallons for 50% of the shrubs and at 1 gallon for the other 50% of the shrubs.
7. Irrigation Plan – Prior to the issuance of building permits, a Final Irrigation Plan shall be submitted for review and approval of the Community Development Director that addresses any refinements to the plant materials and locations.
8. Surety Bond – Prior to the issuance of a building permit, the applicant shall provide a bond or other surety acceptable to the City to guarantee that the installed landscaping shall remain in a healthy and growing condition for a minimum of two years from the date of occupancy approval. The amount of the surety shall be a minimum of ten percent of the actual or estimated costs of the installation accepted by the Planning Services Division. An amount greater than ten percent may be required by the Planning Services Division if more exotic, less reliable plant material is specified in the approved planting plan. Two years after the approval of occupancy, the applicant shall contact the Planning Services Division to arrange for an inspection of the landscaping. If or when all landscaping shown on the approved plans is in place and is in healthy and growing condition, the surety shall be returned to the entity that provided the surety or to another entity upon proof of transfer. If plant material is dead, dying or missing and the applicant does not take steps to restore the landscaping, the City shall have the authority to use the surety for the restoration of the landscaping.
9. Bicycle Parking Facilities – The applicant shall provide bicycle parking by means of either indoor or outdoors bicycle lockers, or a bicycle rack placed in a secure and prominent location on the site.

10. Lighting – A Photometric Analysis and lighting specifications showing white light only, consistent with standards set by the Illuminating Engineers Society for open parking, sidewalks and grounds with a minimum variation in foot-candles across the site shall be submitted for review and approval of the Community Development Director.
11. Trash Enclosures and Maintenance Building - Prior to the issuance of building permits the applicant shall coordinate with the waste hauler for the site.
12. Materials and colors for the trash enclosures and maintenance building shall be consistent with those of the church structure.
13. Signs - Sign locations and specifications are not part of this application and will require a separate application for review by the Site and Architectural Design Review Board.

PASSED AND ADOPTED, at a regular meeting of the Planning Commission of the City of Marina, duly held on the August 28, 2014, by the following vote:

AYES: COMMISSION MEMBERS:

NOES: COMMISSION MEMBERS:

ABSENT: COMMISSION MEMBERS:

ABSTAIN: COMMISSION MEMBERS:

---

David Burnett, Chair

ATTEST:

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Christine di Iorio, AICP  
Director, Community Development Department  
City of Marina

RESOLUTION NO. 2014-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MARINA FINDING THAT THE ISSUANCE OF CONDITIONAL USE PERMIT UP 2014-01 TO ALLOW A ±19,411 SQUARE FOOT CHURCH MEETING HOUSE WITHIN THE MULTIPLE-FAMILY RESIDENTIAL (R-4) ZONING DISTRICT, AND APPROVAL OF SITE AND ARCHITECTURAL DESIGN REVIEW DR 2014-04 FOR THE SITE PLAN, BUILDING ELEVATIONS, LANDSCAPE PLAN, AND COLORS AND MATERIALS FOR THE CHURCH MEETING HOUSE ON A ±5.8 ACRE PROJECT SITE LOACTED AT 3<sup>rd</sup> AVENUE AT HAYES CIRCLE, IS CONSISTENT WITH THE FORT ORD BASE REUSE PLAN

WHEREAS, on March 10, 2014, Fuse Architects, on behalf of the applicant, the Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-day Saints submitted a complete application for a Conditional Use Permit (UP 2014-01) and Site and Architectural Design Review for the proposed ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue and Hayes Circle. Facilities within the church include the chapel, meeting rooms, offices, a food serving (not cooking) area, and a multi-purpose basketball court/cultural hall/dance floor/dining area with a stage. A maximum of 400 people are anticipated to use the building at any one time, and;

WHEREAS, at the regular meeting of November 8, 2006, the Marina City Council adopted Resolution No. 2006-290, finding that the legislative land use approval for the Cypress Knolls Project are consistent with the Fort Ord Base Reuse Plan, and;

WHEREAS, on January 12, 2007, the Fort Ord Reuse Authority (FORA) adopted Resolution No. 07-2, finding that the legislative land use submittals for the Cypress Knolls Project are consistent with the Fort Ord Final Base Reuse Plan, and satisfy the requirements of Title 7.85 of the Government Code and Fort Ord Base Reuse Plan, amongst other findings, and;

WHEREAS, the subject property is designated 'Multi-Family Residential' on the General Plan Land Use Map, and;

WHEREAS, the subject property is located within the 'Multiple Family Residential' (R-4) Zoning District and in accordance with Marina Municipal Code (MMC) Section 17.20.030 C, churches are permitted within the R-4 Zone, subject to first securing a Conditional Use Permit, and;

WHEREAS, at the regular meeting of August 28, 2014, the Marina Planning Commission conducted a public hearing, provided comments and adopted Resolution No. 2014- , approving Conditional Use Permit UP 2014-01 to allow a church within

the Multiple-Family Residential (R-4) Zoning District, and; approving Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for a ±19,411 square foot church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue at Hayes Circle, subject to conditions, and;

WHEREAS, based on technical studies prepared by qualified professionals, staff have ascertained that the project does not fall within the parameters established by Section 15162(a)(A) through (D) of the California Environmental Quality Act (CEQA) and an informal Addendum to the certified EIR has been prepared for this project, and;

WHEREAS, an analysis of consistency prepared in accordance with Master Resolution Chapter 8.02.020 (a) to (t) criteria for determining consistency (“**EXHIBIT A**”) shows the project is consistent with the Fort Ord Reuse Plan and Master Resolution.

NOW, THEREFORE BE IT RESOLVED, that the Planning Commission of the City of Marina finds that the issuance of Conditional Use Permit UP 2014-01 to allow a ±19,411 square foot church meeting house within the Multiple-Family Residential (R-4) Zoning District, and approval of Site and Architectural Design Review DR 2014-04 for the Site Plan, Building Elevations, Landscape Plan, and Colors and Materials for the church meeting house on a ±5.8 acre project site located at 3<sup>rd</sup> Avenue at Hayes Circle, are consistent with the Fort Ord Base Reuse Plan.

PASSED AND ADOPTED by the Planning Commission of the City of Marina at a regular meeting duly held on the 28<sup>th</sup> day of August 2014, by the following vote:

AYES, COMMISSIONERS:

NOES, COMMISSIONERS:

ABSENT, COMMISSIONERS:

ABSTAIN, COMMISSIONERS:

---

David Burnett, Chair

ATTEST:

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Christine di Iorio, AICP, Director  
Community Development Department  
City of Marina

**“EXHIBIT A” to Resolution  
FORA Consistency Determination**

<b>CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS (LDS CHURCH)</b> <b>August 21, 2014</b>	
<b>FORA Master Resolution Chapter 8 Sections 8.02.020 (a) to (t)</b>	<b>Consistency Finding</b>
<b>Natural Resources</b>	
<p>(a) Prior to approving any development entitlements, each land use agency shall act to protect natural resources and open spaces on Fort Ord territory by including the open space and conservation policies and programs of the Reuse Plan, applicable to the land use agency, into their respective general, area, and specific plans.</p>	<p>On November 8, 2006, the Marina City Council adopted Resolutions No. 2006-284 through 2006-290 entitling the Cypress Knolls Project, including certification of the Cypress Knolls Environmental Impact Report (EIR) (State Clearinghouse #2004081113), and approval of General Plan Land Use Map and text amendments; a Tentative Map; a Use Permit for a Planned Unit Development; Design Guidelines for redevelopment and reuse of the site; a Tree Removal Permit for the removal of 1,076 trees; a water allocation; and a finding that the legislative land use approvals for the Cypress Knolls project are consistent with the Fort Ord Reuse Plan.</p> <p>The LDS Church Project does not alter existing General Plan policies concerning open space and conservation. The site is designated Multi-Family Residential on the General Plan Land Use Map and is zoned Multiple-Family Residential (R-4) on the Zoning District Map. Churches are permitted with a Conditional Use Permit in the R-4 Zoning District.</p> <p>The Cypress Knolls EIR identifies areas of maritime chaparral and significant numbers of trees on both the north and south ends of the subject site. The Cypress Knolls Planimetric Survey identifies the chaparral and trees to the north as native open space. The chaparral and trees at both the north and south ends of the site are to be retained as open space through avoidance and no trees are proposed to be removed. The applicant may provide a future trail across the southern end of the site once future connectivity become clear.</p>
<p>1. Each land use agency shall review each application for a development entitlement for compatibility with adjacent open space land uses and require suitable open space buffers to be incorporated into the development plans of any potentially incompatible land uses as a condition of project approval.</p>	<p>The proposed project is within the Cypress Knolls Project Area at the gateway of a future residential community.</p> <p>The site is not adjacent to any open space land uses on the General Plan Land Use</p>

**CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS (LDS CHURCH)**

**August 21, 2014**

<b>FORA Master Resolution Chapter 8 Sections 8.02.020 (a) to (t)</b>	<b>Consistency Finding</b>
	Map. The church provides both a buffer and an appropriate transition in land uses to adjacent existing and future uses through retention of the maritime chaparral and existing trees to the north where residential uses are anticipated, and to the south where there are existing educational facilities and professional offices.
2. When buffers are required as a condition of approval adjacent to Habitat Management areas, the buffer shall be designed in a manner consistent with those guidelines set out in the Habitat Management Plan. Roads shall not be allowed within the buffer area adjacent to Habitat Management areas except for restricted access maintenance or emergency access roads.	The project site is designated as a development parcel within the Installation-wide Multispecies HMP for Former Fort Ord, and is not adjacent to a Habitat Management Area.
(b) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that will ensure consistency of future use of the property within the coastal zone through the master planning process of the California Department of Parks and Recreation, if applicable. All future use of such property shall comply with the requirements of the Coastal Zone Management Act and the California Coastal Act and the coastal consistency determination process.	The LDS Church Project is not within the Coastal Zone.
(c) Monterey County shall include policies and programs in its applicable general, area, and specific plans that will ensure that future development projects at East Garrison are compatible with the historic context and associated land uses and development entitlements are appropriately conditioned prior to approval.	The LDS Church Project is not within the East Garrison area of Monterey County.
(d) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that shall limit recreation in environmentally sensitive areas, including, but not limited to, dunes and areas with rare, endangered, or threatened plant or animal communities to passive, low intensity recreation, dependent on the resource and compatible with its long term protection. Such policies and programs shall prohibit passive, low-density recreation if the Board finds that such passive, low-density recreation will compromise the ability to maintain an environmentally sensitive resource.	The LDS Church Project does not alter existing General Plan policies relating to protection of environmentally sensitive areas and resources. The subject property is designated for multiple family residential uses. Churches are permitted with a Conditional Use Permit in the R-4 Zoning District.

<b>Historic Preservation</b>	
<p>(e) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that shall encourage land uses that are compatible with the character of the surrounding districts or neighborhoods and discourage new land use activities which are potential nuisances and/or hazards within and in close proximity to residential areas. Reuse of property in the Army urbanized footprint should be encouraged.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to compatibility of land uses. The LDS Church Project is proposed on land that is designated and zoned for multiple-family residential use. Churches are permitted with a Conditional Use Permit in the R-4 Zoning District.</p> <p>There are no nuisances or hazards anticipated that would affect future adjacent residential development to the north.</p> <p>The proposed project reuses property in the Army urbanized footprint.</p>
<p>(f) Each land use agency with jurisdiction over property in the Army urbanized footprint shall adopt the cultural resources policies and programs of the Reuse Plan concerning historic preservation, and shall provide appropriate incentives for historic preservation and reuse of historic property, as determined by the affected land use agency, in their respective applicable general, area, and specific plans.</p>	<p>The LDS Church Project does not alter existing General Plan policies concerning cultural resources and historic preservation.</p> <p>The site is currently undeveloped land and historic preservation and reuse of historic structures is not an option.</p>
<p>(g) The County of Monterey shall amend the Greater Monterey Peninsula Area Plan and designate the Historic East Garrison Area as an historic district in the County Reservation Road Planning Area. The East Garrison shall be planned and zoned for planned development mixed uses consistent with the Reuse Plan. In order to implement this aspect of the plan, the County shall adopt at least one specific plan for the East Garrison area and such specific plan shall be approved before any development entitlement shall be approved for such area.</p>	<p>The project is not within the East Garrison area of Monterey County.</p>
<b>Water, Sewer, Drainage &amp; Waste</b>	
<p>(h) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that shall support all actions necessary to ensure that sewage treatment facilities operate in compliance with waste discharge requirements adopted by the California Regional Water Quality Control Board.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to sewage treatment facilities compliance with State standards.</p>
<p>(i) Each land use agency shall adopt the following policies and programs:</p> <ol style="list-style-type: none"> <li>1. A solid waste reduction and recycling program applicable to Fort Ord territory consistent with the provisions of the California Integrated Waste Management Act of 1989, Public Resources Code</li> </ol>	<p>The LDS Church Project does not alter existing General Plan policies relating to solid waste reduction and recycling.</p>

Section 40000 et seq.	
2. A program that will ensure that each land use agency carries out all action necessary to ensure that the installation of water supply wells comply with State of California Water Well Standards and well standards established by the Monterey County Health Department.	The LDS Church Project will not have a water supply well or alter existing General Plan policies relating to water supply wells and water storage and distribution.
3. A program that will ensure that each land use agency carries out all actions necessary to ensure that distribution and storage of potable and non-potable water comply with State Health Department regulations.	
(j) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans to address water supply and water conservation. Such policies and programs shall include the following:	
1. Identification of, with the assistance of the Monterey County Water Resources Agency and the Monterey Peninsula Water Management District, potential reservoir and water impoundment sites and zoning of such sites for watershed use, thereby precluding urban development.	<p>The site is designated Multi-Family Residential on the General Plan Land Use Map and is zoned Multiple-Family Residential (R-4) on the Zoning District Map. Churches are permitted with a Conditional Use Permit in the R-4 Zoning District.</p> <p>The sandy soiled site is not planned for use as a reservoir or water impoundment site.</p>
2. Commence working with appropriate agencies to determine the feasibility of developing additional water supply sources, such as water importation and desalination, and actively participate in implementing the most viable option or options.	The LDS Church Project will not alter existing General Plan policies relating to water supply.
3. Adoption and enforcement of a water conservation ordinance which includes requirements for plumbing retrofits and is at least as stringent as Regulation 13 of the Monterey Peninsula Water Management District, to reduce both water demand and effluent generation.	<p>The LDS Church Project does not alter existing General Plan policies relating to water conservation.</p> <p>The LDS Church Project will be subject to the 2013 California Green Building Code (CalGreen), which incorporates standards for both indoor and outdoor plumbing fixtures to improve water conservation.</p> <p>Also, the proposed Landscape Plan consists primarily of native and drought tolerant plantings that will require increasingly less water as they become established.</p>
4. Active participation in the support of the development of reclaimed or recycled water supply sources by the water purveyor and the Monterey Regional Water Pollution Control Agency to ensure adequate water supplies for the territory within the jurisdiction of the Authority.	The LDS Church Project does not alter existing General Plan policies relating to recycled water.

<p>5. Promotion of the use of on-site water collection, incorporating measures such as cisterns or other appropriate improvements to collect surface water for in-tract irrigation and other non-potable use.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to on-site water collection.</p>
<p>6. Adoption of policies and programs consistent with the Authority's Development and Resource Management Plan to establish programs and monitor development at territory within the jurisdiction of the Authority to assure that it does not exceed resource constraints posed by water supply.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to water supply.</p> <p>On November 8, 2006, the Marina City Council adopted Resolutions No. 2006-284 through 2006-290 entitling the Cypress Knolls Project, including certification of the Cypress Knolls Environmental Impact Report (EIR) (State Clearinghouse #2004081113),</p> <p>The Cypress Knolls EIR ascertained availability of adequate water to serve the Cypress Knolls Project.</p> <p>The LDS Church Project has a lower water demand than was previously determined for the site. The total anticipated water demand for the proposed project is 4.49 AFY (2.25 AFY for exterior demands and 2.24 AFY for interior demands). The previously approved water demand for the parcel, which assumed 116 apartments, resulted in a total water demand of 17.50 AFY (16.53 AFY for interior demands and .97 AFY for exterior demands).</p> <p>Thus the LDS Church Project will not exceed resource constraints posed by water supply.</p>
<p>7. Adoption of appropriate land use regulations that will ensure that development entitlements will not be approved until there is verification of an assured long-term water supply for such development entitlements.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to long term water supply.</p> <p>Also see response to Question # 6.</p>
<p>8. Participation in the development and implementation of measures that will prevent seawater intrusion into the Salinas Valley and Seaside groundwater basins.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to seawater intrusion.</p>
<p>9. Implementation of feasible water conservation methods where and when determined appropriate by the land use agency, consistent with the Reuse Plan, including: dual plumbing using non-potable water for appropriate functions; cistern systems for roof-top run-off; mandatory use of reclaimed water for any new golf courses; limitation on the use of potable water for golf courses; and publication of annual water reports disclosing water consumption by types of use.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to water supply.</p> <p>The LDS Church Project will be subject to the 2013 California Green Building Code (CalGreen), which incorporates standards for both indoor and outdoor plumbing fixtures to improve water conservation. Also, the proposed Landscape Plan consists primarily of native and drought</p>

	tolerant plantings that will require increasingly less water as they become established.
(k) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that will require new development to demonstrate that all measures will be taken to ensure that storm water runoff is minimized and infiltration maximized in groundwater recharge areas. Such policies and programs shall include:	
1. Preparation, adoption, and enforcement of a storm water detention plan that identifies potential storm water detention design and implementation measures to be considered in all new development, in order to increase groundwater recharge and thereby reduce potential for further seawater intrusion and provide for an augmentation of future water supplies.	The Cypress Knolls EIR suggests that the existing storm water detention basin east of Del Monte and Highway 1 has adequate storm water capacity to handle a 100 year storm event. Mitigation measures in the EIR require that all storm water run-off be directed to this basin.
2. Preparation, adoption, and enforcement of a Master Drainage Plan to assess the existing natural and man-made drainage facilities, recommend area-wide improvements based on the approved Reuse Plan, and develop plans for the control of storm water runoff from future development. Such plans for control of storm water runoff shall consider and minimize any potential for groundwater degradation and provide for the long term monitoring and maintenance of all storm water retention ponds.	For the LDS Church Project site, 100% of storm water will be captured on site, accomplished through infiltration within the landscape area, bioswales and use of pervious paving materials.
(l) Each land use agency shall adopt policies and programs that ensure that all proposed land uses on the Fort Ord territory are consistent with the hazardous and toxic materials clean-up levels as specified by state and federal regulation.	The LDS Church Project does not alter existing General Plan policies relating to hazardous and toxic materials clean-up.
(m) Each land use agency shall adopt and enforce an ordinance acceptable to the California Department of Toxic Substances Control (DTSC) to control and restrict excavation or any soil movement on those parcels of the Fort Ord territory, which were contaminated with unexploded ordnance and explosives. Such ordinance shall prohibit any digging, excavation, development, or ground disturbance of any type to be caused or otherwise allowed to occur without compliance with the ordinance. A land use agency shall not make any substantive change to such ordinance without prior notice to and approval by DTSC.	The LDS Church Project does not alter Chapter 15.56 (Digging and Excavation on the Former Fort Ord) of the Marina Municipal Code.
<b>Traffic &amp; Circulation</b>	
(n) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that will help ensure an efficient regional transportation network to access the territory under the jurisdiction of the Authority, consistent with the standards of the Transportation Agency of Monterey County. Such policies and programs shall include:	The LDS Church Project will pay its fair share of FORA Impact Fees, Development Impact Fees, including both roadway and intersection fees (\$98,434), and a fair share of funding for the extension of Patton Parkway from the Cypress Knolls Project area into Marina (\$76,218).

<p>1. Establishment and provision of a dedicated funding mechanism to pay for the fair share of the impact on the regional transportation system caused or contributed by development on territory within the jurisdiction of the Authority.</p>	<p>See above.</p>
<p>2. Support and participate in regional and state planning efforts and funding programs to provide an efficient regional transportation effort to access Fort Ord territory.</p>	
<p>(o) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that ensure that the design and construction of all major arterials within the territory under the jurisdiction of the Authority will have direct connections to the regional network consistent with the Reuse Plan. Such plans and policies shall include:</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to design and construction of the regional street network.</p>
<p>1. Preparation and adoption of policies and programs consistent with the Authority's Development and Resource Management Plan to establish programs and monitor development to assure that it does not exceed resource constraints posed by transportation facilities.</p>	<p>The Cypress Knolls EIR identifies impacts to the road network resulting from development of the Cypress Knolls Project and provides Mitigation Measures to reduce the impact to less than significant. The LDS Church will payment its fair share of FORA Impact Fees, Development Impact Fees, including both roadway and intersection fees (\$98,434), and a fair share of funding for the extension of Patton Parkway to ensure continued efficiency of the regional transportation system.</p>
<p>2. Design and construction of an efficient system of arterials in order to connect to the regional transportation system.</p>	
<p>3. Designate local truck routes to have direct access to regional and national truck routes and to provide adequate movement of goods into and out of the territory under the jurisdiction of the Authority.</p>	
<p>(p) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans to provide regional bus service and facilities to serve key activity centers and key corridors within the territory under the jurisdiction of the Authority in a manner consistent with the Reuse Plan.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to regional bus service and facilities.</p>
<p>(q) Each land use agency shall adopt policies and programs that ensure development and cooperation in a regional law enforcement program that promotes joint efficiencies in operations, identifies additional law enforcement needs, and identifies and seeks to secure the appropriate funding mechanisms to provide the required services.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to law enforcement operations.</p>
<p><b>Fire Protection</b></p>	
<p>(r) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that ensure development of a regional fire protection program that promotes joint efficiencies in operations, identifies additional fire protection needs, and identifies and seeks to secure the appropriate funding mechanisms to provide the required services.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to regional fire protection programs.</p>
<p>(s) Each land use agency shall include policies and programs in their respective applicable general, area, and specific plans that will ensure that native plants from on-site stock will be used in all landscaping except for turf areas, where practical and appropriate. In areas of</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to the use of native plants from on-site stock in all landscaping.</p>

<p>native plant restoration, all cultivars, including, but not limited to, manzanita and ceanothus, shall be obtained from stock originating on Fort Ord territory.</p>	<p>A Final Landscape Plan will be submitted for the LDS Church Project at time of building permit application. The Preliminary Landscape Plan consists primarily of native and drought tolerant plantings.</p> <p>There are no areas of native plant restoration at the site.</p>
<p><b><i>Jobs/Housing Balance</i></b></p>	
<p>(t) Each land use agency shall include policies and programs in their general, area, and specific plans that will ensure compliance with the 1997 adopted FORA Reuse Plan jobs/housing balance provisions. The policies and programs for the provision of housing must include flexible targets that generally correspond with expected job creation on the former Fort Ord. It is recognized that, in addressing the Reuse Plan jobs/housing balance, such flexible targets will likely result in the availability of affordable housing in excess of the minimum 20% local jurisdictional inclusionary housing figure, which would result in a range of 21% - 40% below market housing. Each land use agency should describe how their local inclusionary housing policies, where applicable, address the Reuse Plan jobs/housing balance provisions.</p>	<p>The LDS Church Project does not alter existing General Plan policies relating to land uses that would impact the job/housing balance.</p> <p>The site is designated Multi-Family Residential on the General Plan Land Use Map and is zoned Multiple-Family Residential (R-4) on the Zoning District Map. Churches are permitted with a Conditional Use Permit in the R-4 Zoning District.</p>
<p><b><i>Other Consistency Considerations</i></b></p>	
<p>Each land use agency shall ensure that its projects, programs, and policies are consistent with the Highway One Scenic Corridor design standards as such standards may be developed and approved by the Authority Board.</p>	<p>The LDS Church Project is not within the Highway One Scenic Corridor as it is over 2,400 feet east of Highway 1.</p>
<p>Each land use agency shall ensure that its projects, programs, and policies are consistent with FORA's prevailing wage policy, section 3.03.090 of the FORA Master Resolution.</p>	<p>The LDS Church Project is required to pay a prevailing wage consistent with section 3.03.090 of the FORA Master Resolution.</p>

THE CHURCH OF  
**JESUS CHRIST**  
OF LATTER-DAY SAINTS

THE CHURCH OF  
JESUS CHRIST  
OF LATTER-DAY SAINTS



**Marina Building, Monterey Stake - California**  
**[P.N. 596-2275]**

**DESIGN PROFESSIONALS.**

**LANDSCAPE ARCHITECT.**  
Joni L. Janecki & Associates  
515 Swift Street  
Santa Cruz, CA. 95060  
Ph. 831.423.6040  
www.jlja.com

**CIVIL ENGINEER & SURVEYOR.**  
Michael F. Goodhue, PE, LS  
PO Box 1914  
Aptos, CA. 95001  
Ph. 831.763.1661  
www.mfgengineers.org

**ARCHITECT.**  
Fuse Architects Inc.  
411 Capitola Avenue  
Capitola, CA. 95010  
Ph. 831.478.9295  
www.fusearchitecture.com



**DRAWING INDEX**

A000 COVER SHEET - INDEX  
A000a EXTERIOR RENDERINGS  
ARCHITECTURAL  
A001 PROPOSED SITE PLAN  
A101 MAIN FLOOR PLAN  
A102 TRASH ENCL. PLAN, ELEV., & DETAILS  
A201 BUILDING ELEVATIONS  
A202 BUILDING ELEVATIONS  
CIVIL  
C1 EXISTING TOPOGRAPHIC MAP  
C2 PRELIMINARY GRADING PLAN  
LANDSCAPING  
L1.0 LANDSCAPE PLAN  
L1.1 LANDSCAPE PLAN  
L2.0 LANDSCAPE PLANTING DETAILS  
L3.0 IRRIGATION PLAN  
L3.1 IRRIGATION PLAN  
L3.2 IRRIGATION LEGEND, NOTES, SCHEDULES  
C WATER USE CHARTS  
L3.3 IRRIGATION DETAILS  
L3.4 IRRIGATION DETAILS

Date: April 22, 2014

COVER SHEET - INDEX

A000



view from across 2nd street

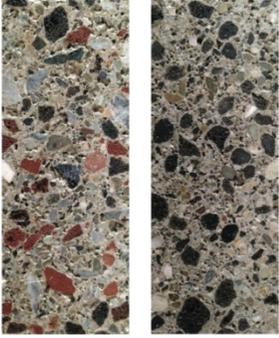


view from North East corner



view from South East corner

# LDS Marina Meeting House



Block Color Samples



Western Red Cedar



Aluminum Window Accents

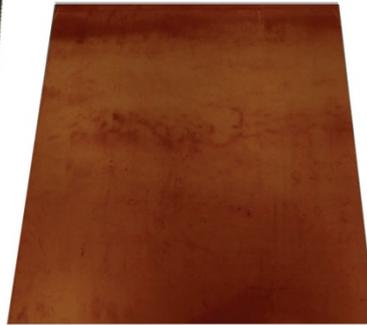


Swiss Pearl - Black Opal 7020 HR

alternate #1 corten steel



alternate #2 GFRC concrete panels



Window surrounds and accents

LDS Marina Meeting House - Materials Study 3.4.14



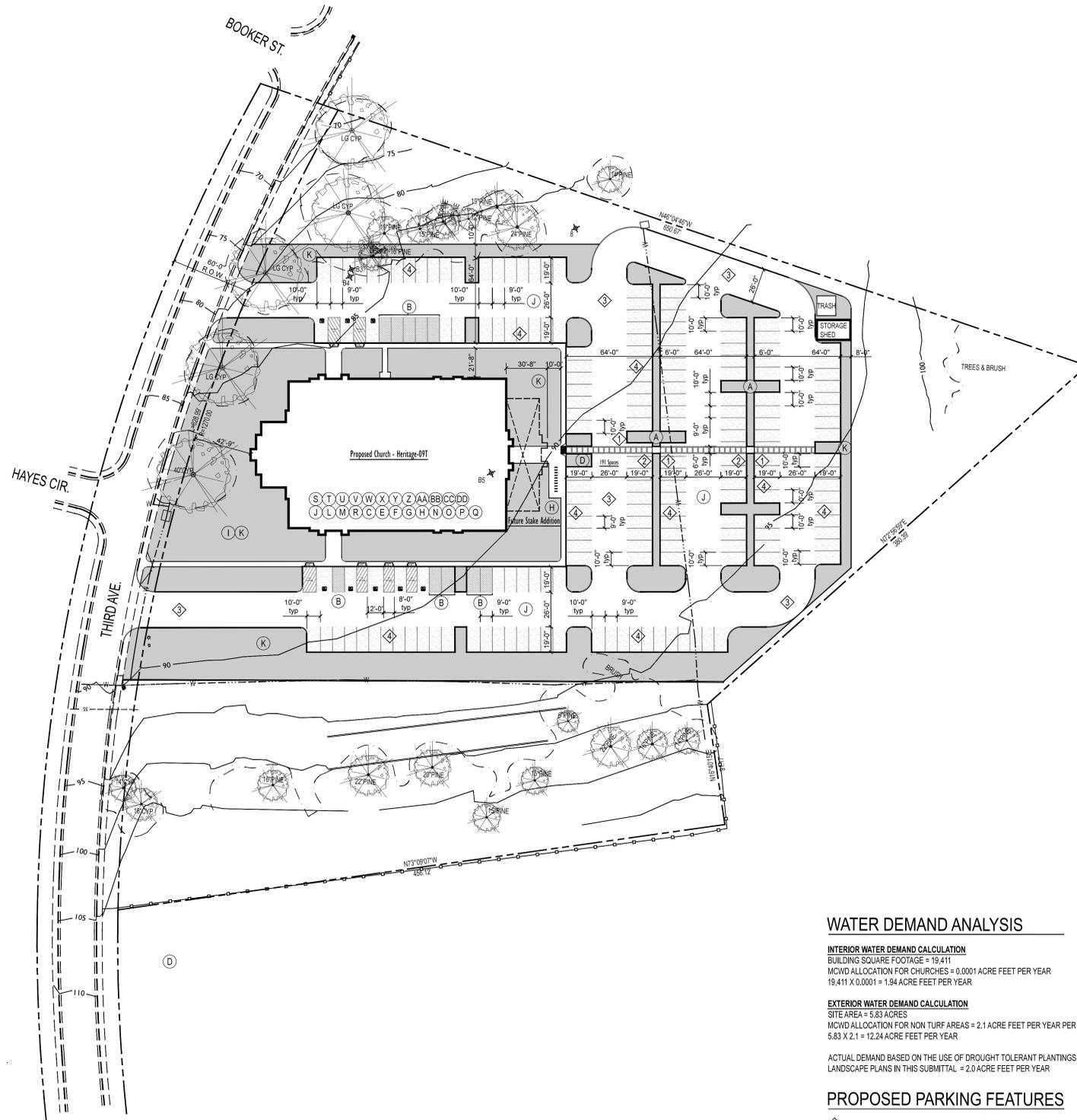
Local Site Requirements

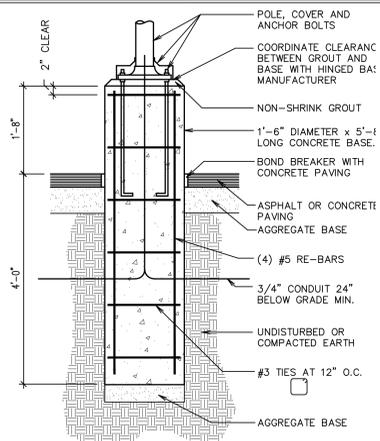
III. SITE AND PARKING LOT GUIDELINES AND STANDARDS

- Performance Objectives:**
1. Site and parking plans shall provide for adequate and safe pedestrian and vehicular traffic.
  2. Vehicular routes shall be separated from pedestrian routes to the greatest extent possible. Pedestrian crossings of vehicular routes and facilities shall be limited to the greatest extent possible. Where crossings cannot be avoided, they shall be clearly defined and protected.
  3. Pedestrian facilities shall connect building entrances with the sidewalk in the abutting public street and with off-street parking facilities provided on-site.
  4. Potentially large expanses of paved areas accommodating automobile parking shall be broken/softened by the introduction of planting areas or alternatively by the use of paving materials 14 such as "turf block." Buildings shall be located as close to the street as practical with as little parking as possible separating buildings from the street.
  5. When feasible, protection from the harsh prevailing off-shore winds in Marina shall be created through the proper location of buildings, building openings, and continuous tree rows or hedge rows. These design considerations can create desirable micro-climates that are protected from the winds. Such micro-climates can increase customer and employee comfort and provide the opportunity to enhance the variety and attractiveness of planted areas so protected.
  6. Encourage sidewalks in front of building to width that allows some area for the use of tables and chairs for outdoor seating. Site plans shall identify outdoor activities that separate pedestrian walkways. Outdoor activities include seating areas and similar uses.

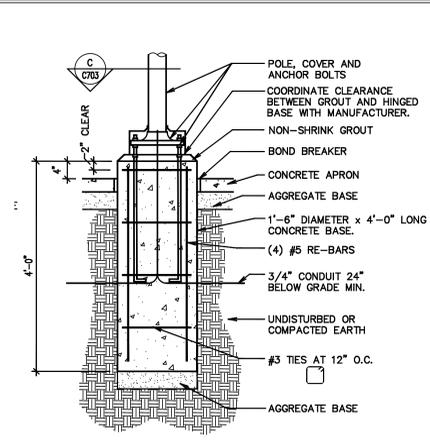
**Zoning Ordinance Standards and Design Criteria:**

1. The number and size of parking spaces, parking lot access, turnaround facilities, and the construction of hard surfaces to accommodate off-street parking spaces shall be in accordance with Chapter 17.44 or the Zoning Ordinance.
2. The size of driving sites providing access to standard 9 by 19 foot parking spaces shall be in accordance with the illustration entitled "City of Marina - Parking Requirements" dated 7/11/77, except that the aisle width may be reduced slightly together with corresponding increases in the width of the parking spaces as the Planning Staff or the Design Review Board may believe is appropriate to negotiate into and out of the parking spaces.
3. Individual parking spaces or parking spaces at the end of a row of parking spaces shall have an additional one foot of width between a wall or the face of a curb to allow for reasonable pedestrian movement between a parked vehicle and the wall or curb and for additional space necessary for a vehicle to negotiate into and out of any such individual or end parking space.
4. With the exception of the portion of entrance drives in the street right-of-way and the intersections of pedestrian and vehicular traffic, driveways and parking areas shall be surrounded by a six (6) inch concrete curb or alternative approved by the Design Review Board that will separate pedestrian and vehicular movement and will help protect safety of pedestrians, landscape plantings and buildings or other site features which might be damaged by vehicular movements. Further, pedestrian movement should be separated from drives by landscaped strips a minimum width of four (4) feet.
5. Parking stall depth from the face of curb may be reduced to 17.5 feet to accommodate a typical 1.5-foot front vehicle overhang where curb or other possible vertical obstructions do not exceed a height of six (6) inches. Stall depth (to the face of curb) may be reduced to as little as 16.5 feet in certain limited circumstances; i.e., where additional landscaped area might help save an existing tree or provide additional landscaped area which might allow for the planting of a tree or a larger tree species. Reduced parking stall dimensions shall be marked "compact" to delineate those parking areas for compact vehicles. 15
6. With the exception of sidewalks in a street right-of-way, pedestrian walkways that cross vehicular drives shall be identified by the use of a paving material which is distinct from the paving material for the driveway, both in color and texture, and said crossings should be at 90 degrees.
7. Dead-end parking lots or dead-end portions of parking lots should be avoided. Where this is not possible, adequate vehicular turnaround space shall be provided that does not require the use of adjacent vacant parking spaces.
8. Rows of parking spaces that parallel a continuous landscape-planting strip with a minimum width of four (4) feet shall be limited to twelve (12) continuous parking spaces. Parking spaces that do not abut such a continuous landscaped strip or area shall be limited to eight (8) continuous parking spaces. Such continuous parking rows shall be broken with landscaped planting islands with a minimum width of eight feet. The numbers of continuous parking spaces may be increased or the total square footage of landscaped islands prescribed above may be reduced if portions of parking areas are surfaced in materials such as "turf-block" which are accompanied by the introduction of plant material into the paving surface itself.
9. Any perimeter fencing shall be in accordance with the height limitations of Section 17.06.060 of the Zoning Ordinance and shall be a "good neighbor" design; i.e., have the "structural" side of the fence facing in towards the project site or have an identical appearance on both sides of the fence.
10. Outdoor areas designated for storage of trash shall be completely enclosed in a walled and gated structure of sufficient size to accommodate storage of both trash and recyclable materials. Trash enclosures shall be constructed of durable materials and, with the exception of necessary gates, shall be constructed of masonry or concrete. The design of the enclosures shall incorporate design features, materials, and colors, or continue the architectural theme from the buildings within the project. A separate person access or other means to encourage main gates to remain closed shall be provided.
11. Storm water collection and percolation should be accomplished and integrated into the landscaping of the project without the need for fencing of any percolation areas, or it shall be accomplished within underground percolation vaults constructed under parking areas, driveways or other non-landscaped areas.
12. Site plans shall include any proposed large backflow devices, above ground electric power transformers, and other similar above-ground utilities. Project design shall include adequate access to these facilities as well as visual screening by devices which are natural in appearance, and by landscape plantings.
13. Project design should anticipate and accommodate the outdoor mechanical, ventilation, communication or other equipment and/or appurtenances without undue visual clutter of such items on roof-tops or the site. Such accommodations should be made by the introduction of parapet walls on buildings or screened service areas, which might be incorporated into the design of trash enclosures. If ground mounted mechanical equipment is not incorporated into trash enclosure, such ground-mounted equipment shall be screened with landscaping to camouflage the equipment.

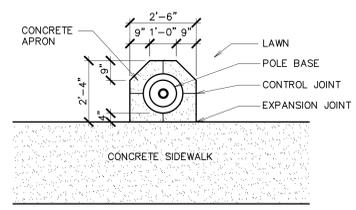




**A** PARKING LOT POLE BASE  
3/4" = 1'-0"

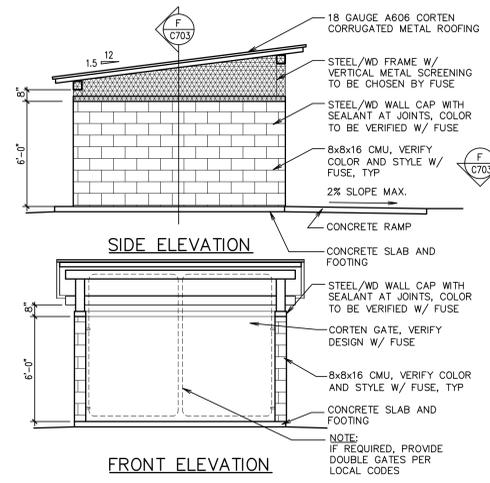


**B** SIDEWALK AREA POLE BASE  
3/4" = 1'-0"



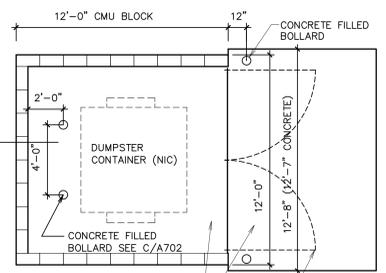
**C** POLE BASE PLAN VIEW  
3/8" = 1'-0"

**D** NOT USED  
NTS

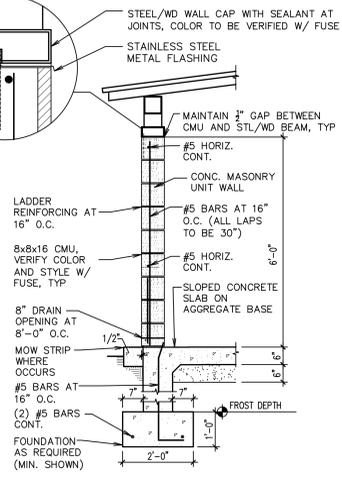


**E** MASONRY DUMPSTER ENCLOSURE  
1/4" = 1'-0"

NOTE: VERIFY LAYOUT OF CMU WITH ARCHITECTURAL DRAWINGS

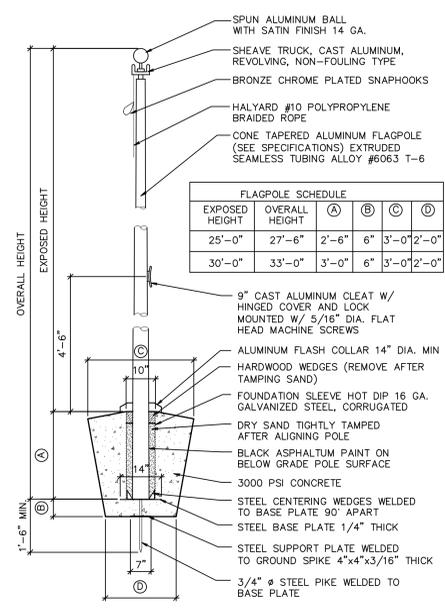


**F** MASONRY WALL AT DUMPSTER ENCLOSURE  
1/2" = 1'-0"



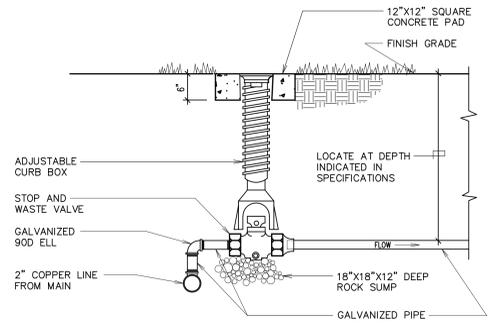
**G** NOT USED  
NTS

**H**



**K** FLAG POLE  
1/2" = 1'-0"

FLAGPOLE SCHEDULE				
EXPOSED HEIGHT	OVERALL HEIGHT	(A)	(B)	(C)
25'-0"	27'-6"	2'-6"	6"	3'-0" 2'-0"
30'-0"	33'-0"	3'-0"	6"	3'-0" 2'-0"

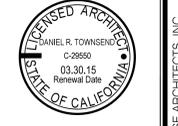


**L** STOP & WASTE VALVE DETAIL  
NO SCALE

NOTE TO ARCHITECT:  
DESIGNATE STOP AND WASTE VALVE TO BE INSTALLED BY EITHER PLUMBING CONTRACTOR OR LANDSCAPE CONTRACTOR.

**J** NOT USED  
NTS

REVISIONS		
MARK	DATE	DESCRIPTION



APN: 031-251-018

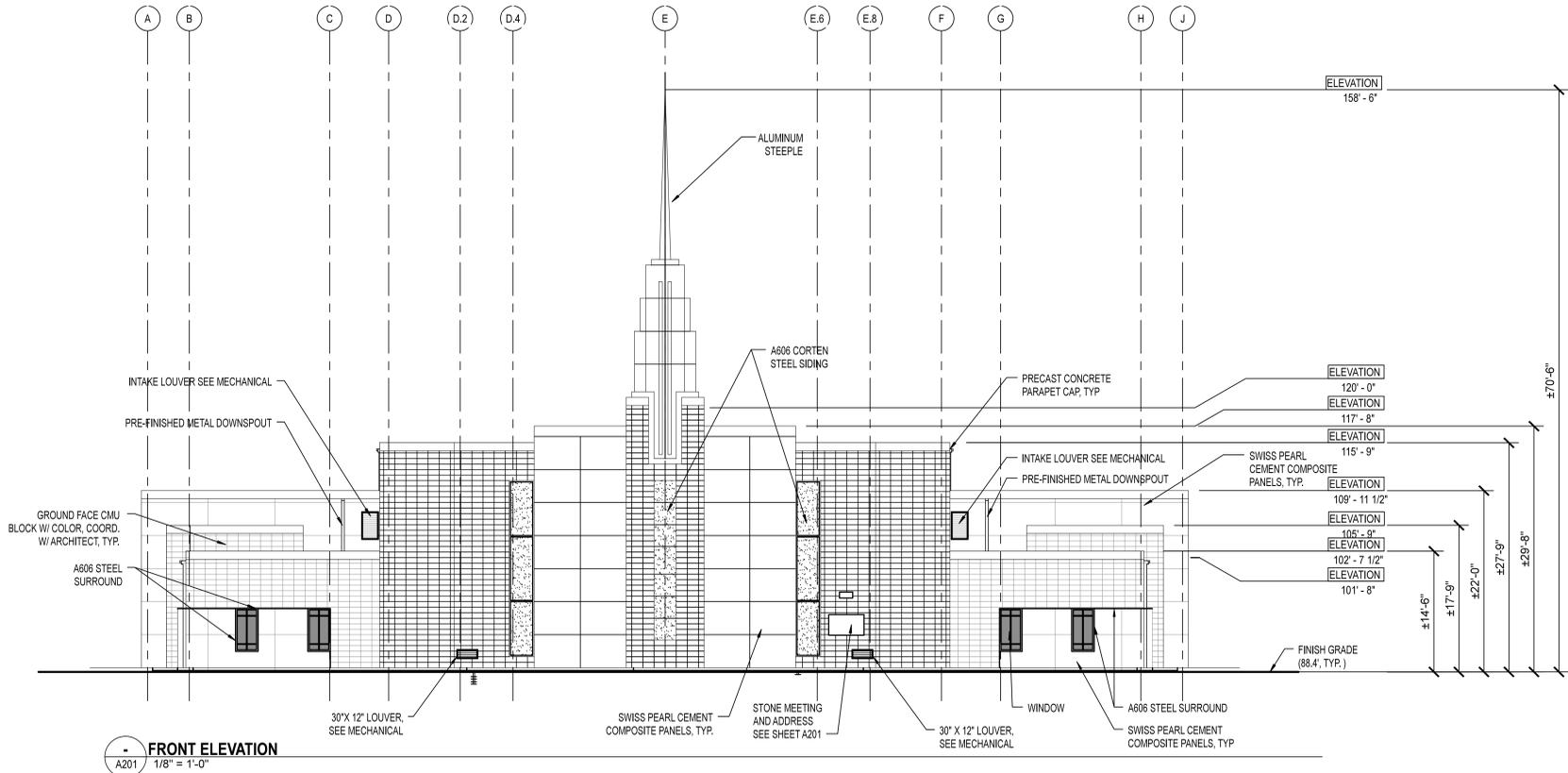
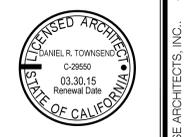
Marina Building (P.N. 596-2275)  
Monterey California Stake  
New Meeting House  
Third Avenue and Hayes Circle  
Marina, California 93933

PROJECT #	-
SCALE	-
DATE	APRIL 22, 2014
APPROVALS	
DESIGNED BY	DRT
DRAWN BY	AJG
CHECKED BY	-

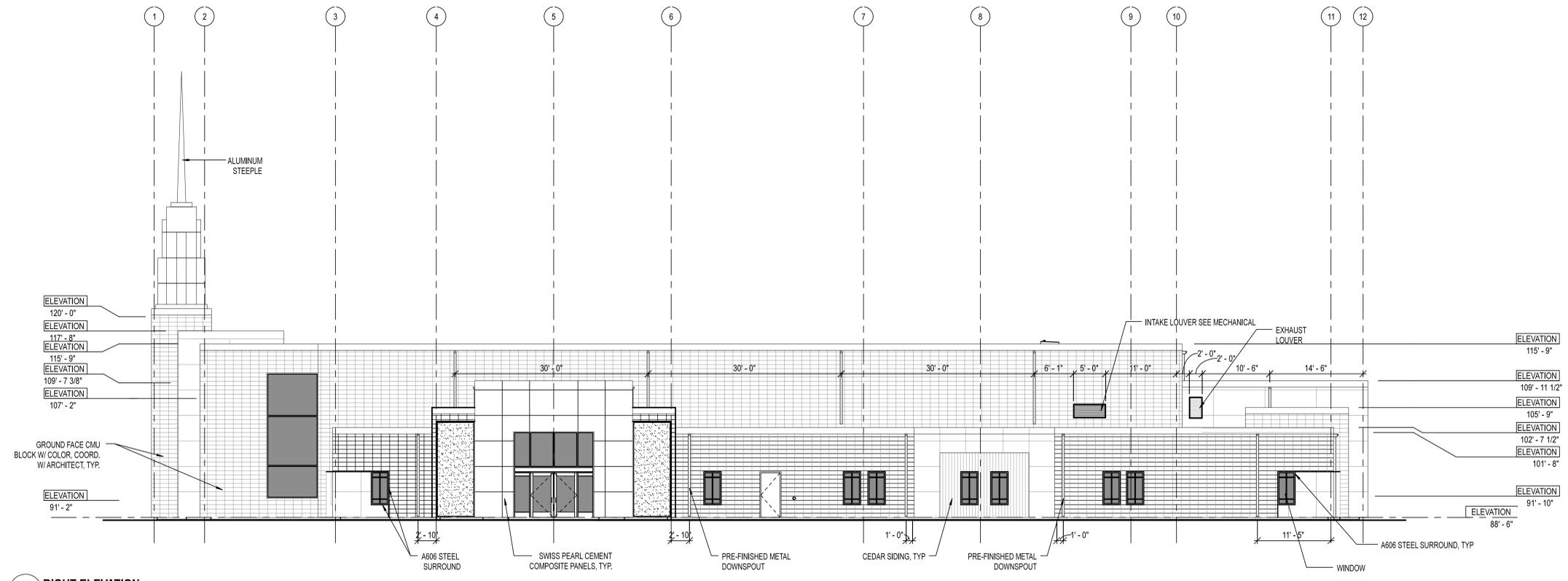
SHEET TITLE  
TRASH ENCLOSURE  
PLAN, ELEV., DTLS

SHEET NUMBER  
**A102**

REVISIONS		
MARK	DATE	DESCRIPTION



**FRONT ELEVATION**  
 A201 1/8" = 1'-0"



**RIGHT ELEVATION.**  
 A201 1/8" = 1'-0"

APN: 031-251-018  
 Marina Building (P.N. 596-2275)  
 Monterey California Stake  
 New Meeting House  
 Third Avenue and Hayes Circle  
 Marina, California 93933

PROJECT # : -  
 SCALE:  
 DATE: APRIL 22, 2014

APPROVALS	
DESIGNED BY:	DRT
DRAWN BY:	AJG
CHECKED BY:	

**SHEET TITLE**  
 EXTERIOR ELEVATIONS

**SHEET NUMBER**  
 A201

REVISIONS		
MARK	DATE	DESCRIPTION



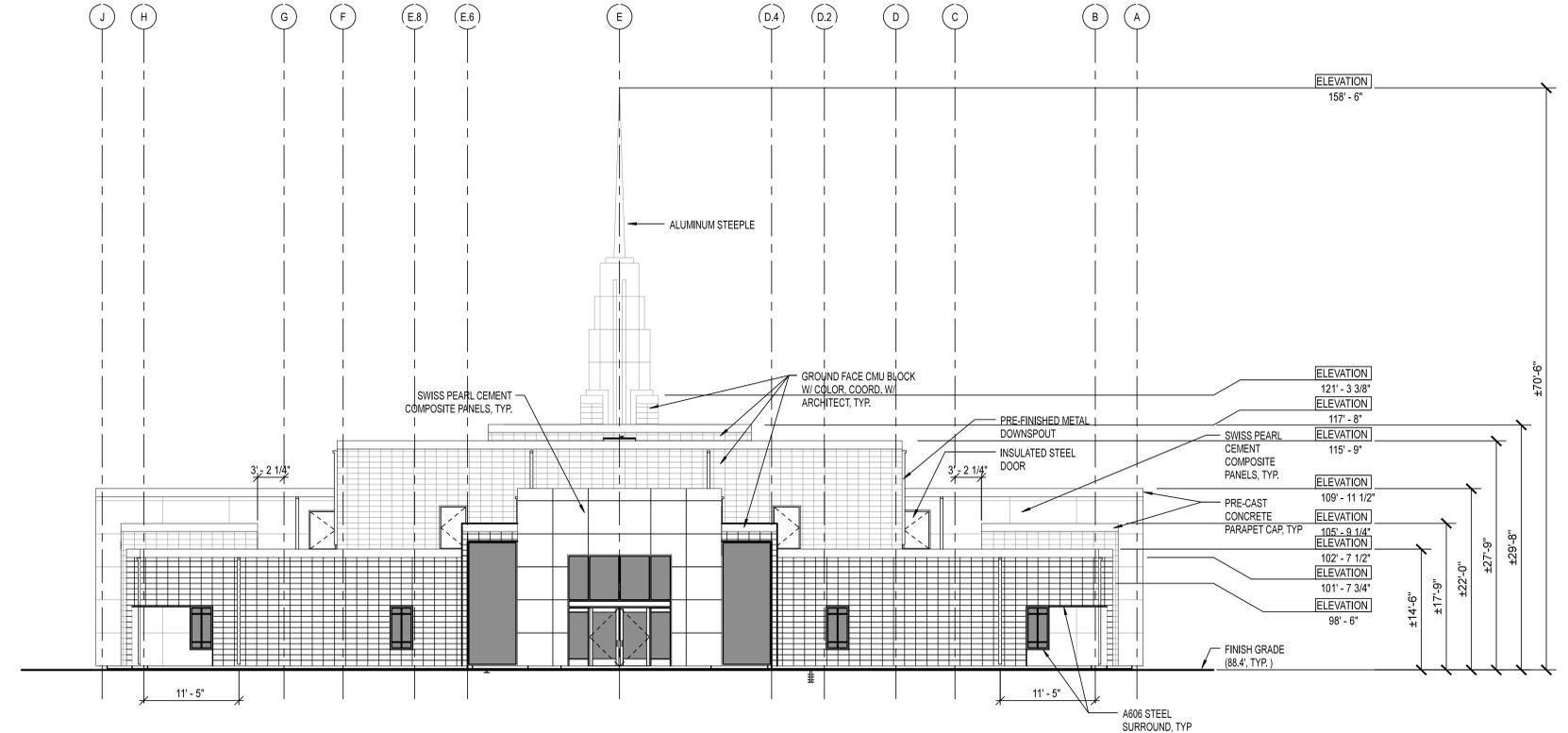
APN: 031-251-018

Marina Building (P.N. 596-2275)  
 Monterey California Stake  
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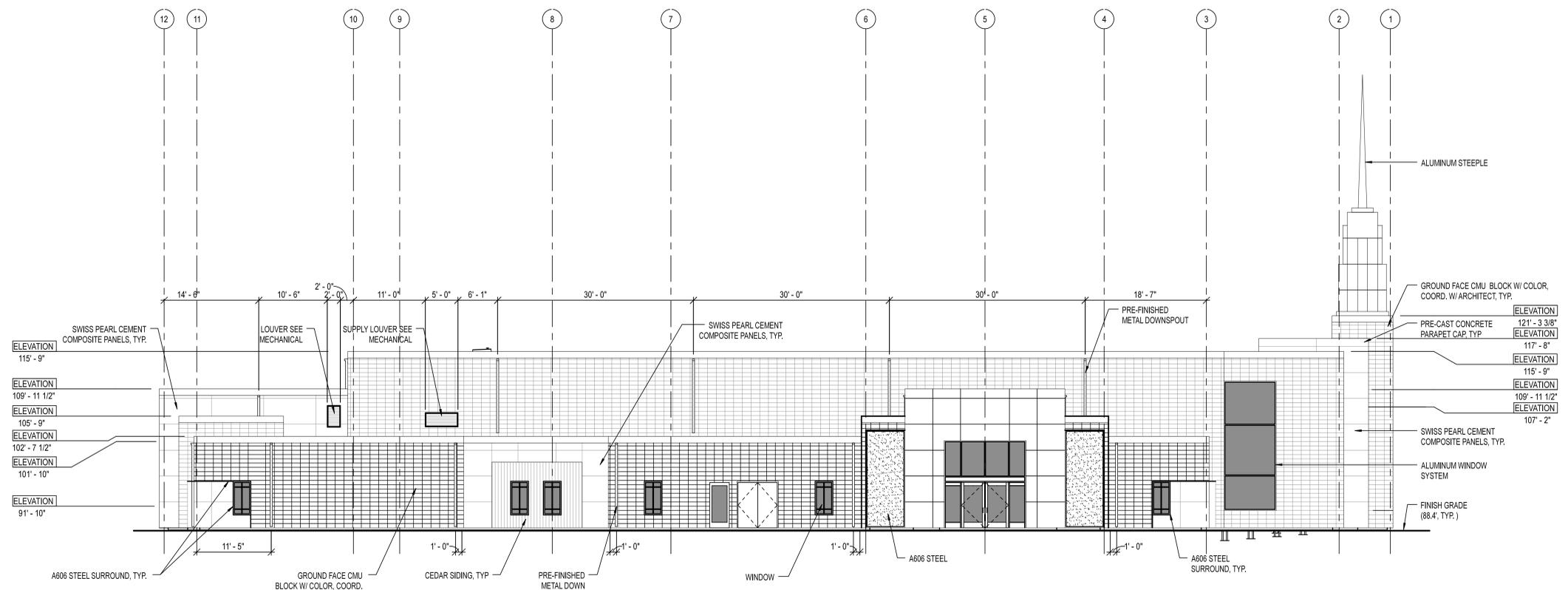
PROJECT #	-
SCALE	-
DATE	APRIL 22, 2014
APPROVALS	
DESIGNED BY	DRT
DRAWN BY	AJG
CHECKED BY	-

SHEET TITLE  
**EXTERIOR ELEVATIONS**

SHEET NUMBER  
**A202**



**REAR ELEVATION**  
 A202 1/8" = 1'-0"

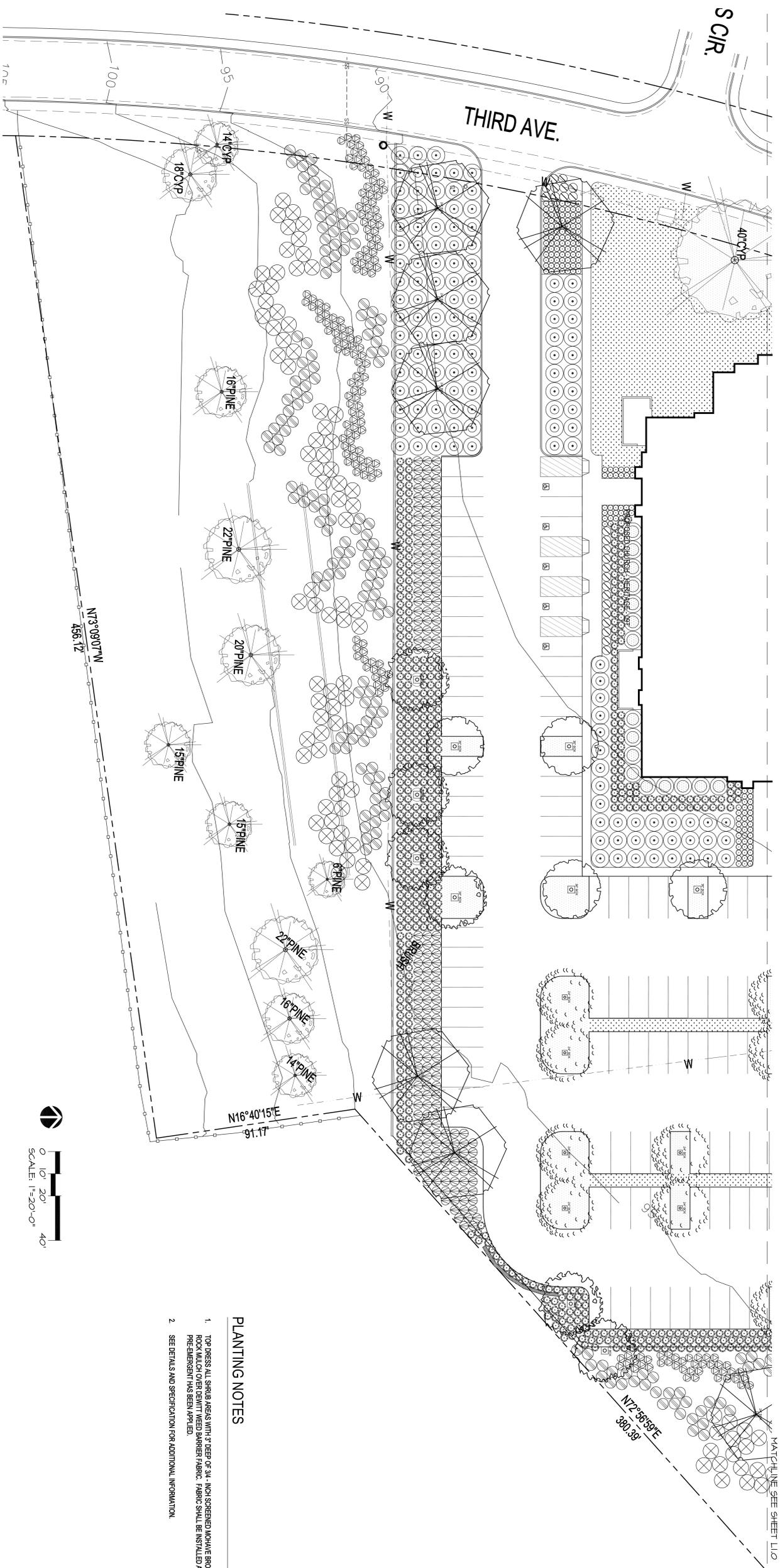


**LEFT ELEVATION**  
 A202 1/8" = 1'-0"

**KEYNOTE - BUILDING ELEVATION**

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**PLANT LIST & LEGEND**

SYMBOL	PLANT TYPE	QUANTITY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	CALIPER	HEIGHT	WIDTH
	TREE	13	ARBUTUS UNEDO	STRAWBERRY TREE	36" BOX		6'-8'	6'-7'
	TREE	7	HEPEROCYPARIS CUPRESSUS	MONTEREY CYPRESS	24" BOX		7'-9'	3'-4'
	TREE	17	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE	24" BOX		10'-12'	5'-6'
	TREE	4	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX		12'-14'	5'-6'

EXISTING TREE TO REMAIN - SEE PLAN FOR SPECIES AND LOCATION

	SHRUB	46	ARCTOSTAPHYLOS EDMONDII	LITTLE SLIP MANZANITA	1 GAL		4"-6"	6"-8"
	SHRUB	278	ARCTOSTAPHYLOS HOOKERII	HOKER'S MANZANITA	1 GAL		4"-6"	6"-8"
	SHRUB	277	ARCTOSTAPHYLOS IVA-URSI	BEARBERRY	1 GAL		4"-6"	6"-8"
	SHRUB	255	BACCHARIS PILULARIS VAR. PILULARIS	COTONIE BRUSH	1 GAL		4"-6"	6"-8"
	GRASS	634	CALAMAGROSTIS NUTKANENSIS	PACIFIC REED GRASS	1 GAL		8"-12"	6"-8"
	GRASS		CAREX PRAEGERACILIS	CALIFORNIA FIELD SEDGE	4" POT			
	SHRUB	174	GEANOTHUS GISSEBII	MILD LILAC	5 GAL		12"	12"
	GRASS		CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	5 GAL		18"	12"
	GRASS	322	FESTUCA IDAHOENSIS	SISKIYOU BLUE FESCUE	1 GAL		6"	6"
	SHRUB	31	LEONOTIS LEONURUS	LIONS TAIL	5 GAL		30"	40"
	SHRUB	144	RHAMNUS GROCEA	REDBERRY	5 GAL		36"	24"

\* PLANT LIST IS FOR CONTRACTORS REFERENCE ONLY. EXACT QUANTITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.

6" LAYER OF MULCH



**PLANTING NOTES**

1. TOP DRESS ALL SHRUB AREAS WITH 3 DEEP OF 34" HIGH SCREENED MOUNTAIN BROWN ROCK MULCH. OTHER SEEDING BEDS SHOWN IN PLAN. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.
2. SEE DETAILS AND SPECIFICATION FOR ADDITIONAL INFORMATION.

MARK	DATE	DESCRIPTION



THE CHURCH OF  
**JESUS CHRIST**  
 OF LATTER-DAY SAINTS

APN: 031-251-018

Marina Building (P.N. 596-2275)  
 Monterey California Stake  
 New Meeting House  
 Third Avenue and Hayes Circle  
 Marina, California 93933

PROJECT #: 13-300  
 SCALE: PER PLAN

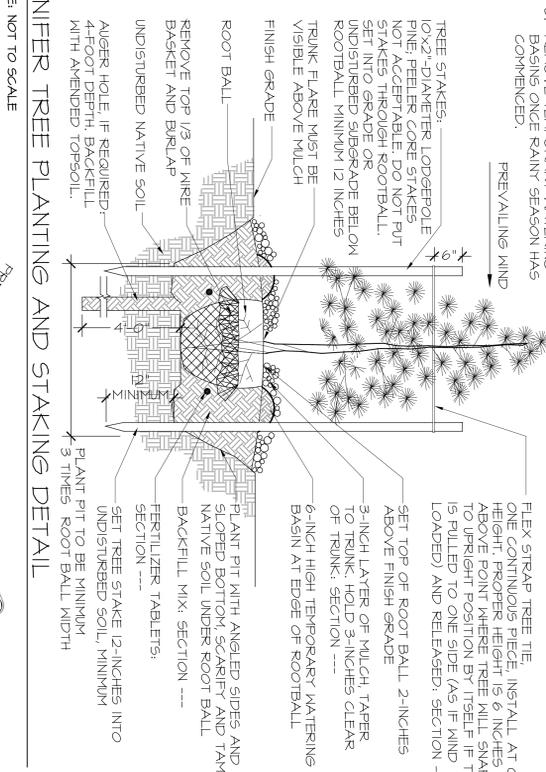
DATE: DECEMBER 17, 2013  
 APPROVALS

DESIGNED BY: JJJ  
 DRAWN BY: AZ  
 CHECKED BY:

SHEET TITLE  
 LANDSCAPE PLAN

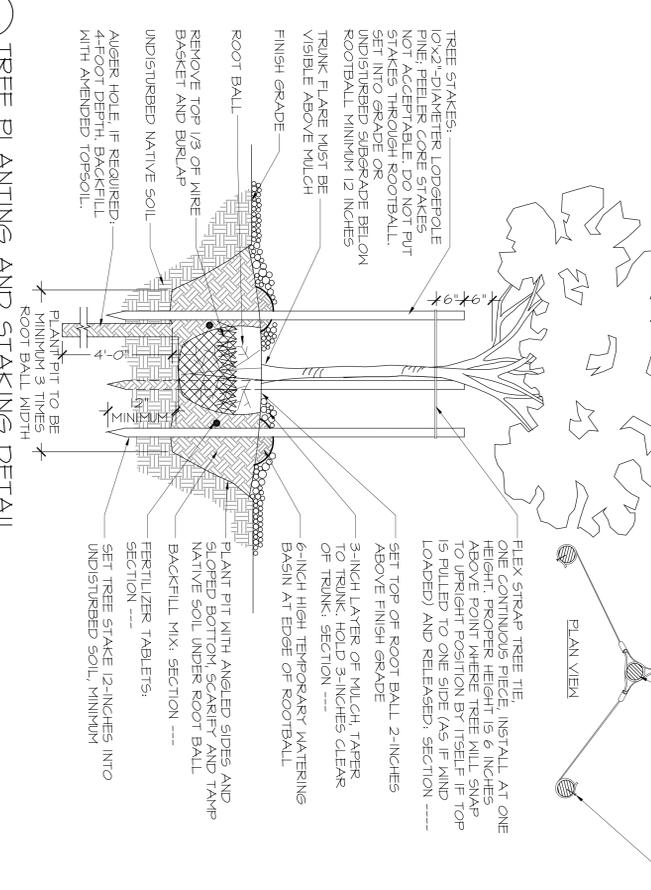
SHEET NUMBER  
**L1.1**

- NOTES:
- CONTRACTOR TO DOUBLE STAKE ALL 15-GALLON, 24-INCH AND 36-INCH BOX CONIFER TREES.
  - CONTRACTOR TO REMOVE NURSERY STAKES(5) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
  - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.



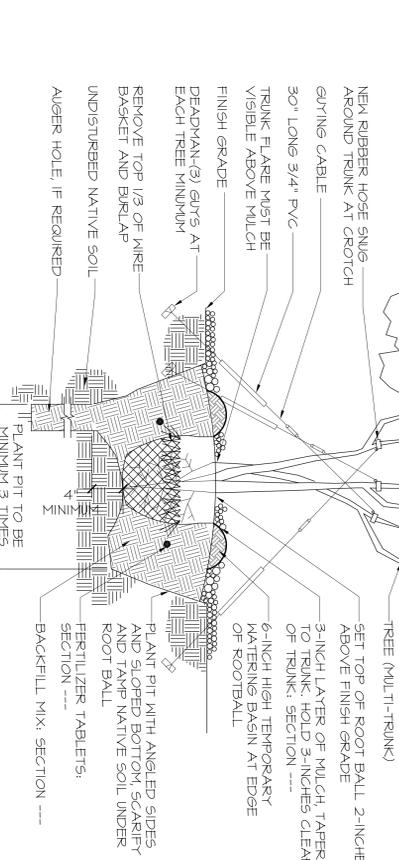
11 CONIFER TREE PLANTING AND STAKING DETAIL  
SCALE: NOT TO SCALE

- NOTES:
- CONTRACTOR TO TRIPLE STAKE ALL 15-GALLON, 24-INCH AND 36-INCH BOX NON-CONIFER TREES.
  - CONTRACTOR TO REMOVE NURSERY STAKES(6) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
  - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.

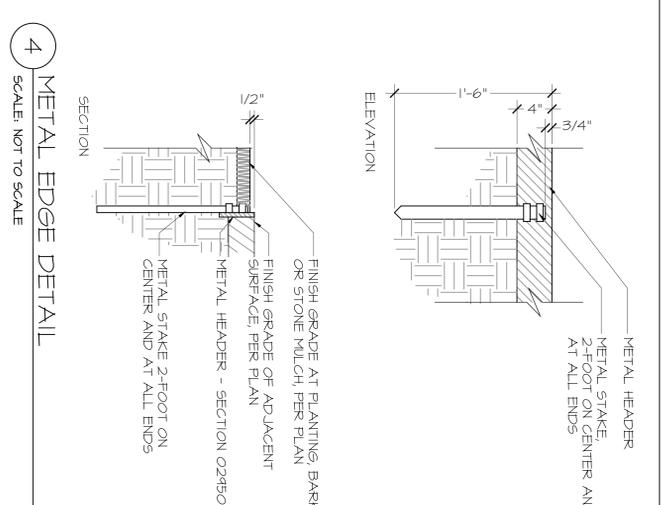


8 TREE PLANTING AND STAKING DETAIL  
SCALE: NOT TO SCALE

- NOTES:
- CONTRACTOR SHALL GUY MULTI-STEMMED TREES WITH ONE CABLE AND THE PER STEM. PLACE GUY'S EQUALLY SPACED AROUND THE TREE.
  - CONTRACTOR SHALL REMOVE NURSERY STAKES(5) AND TAGS FROM TREES UPON COMPLETION OF STAKING.
  - REMOVE TEMPORARY WATERING BASINS ONCE RAINY SEASON HAS COMMENCED.

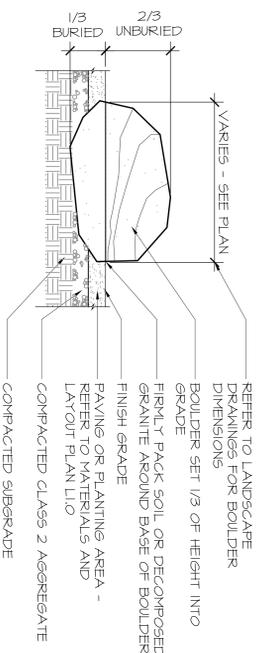


7 TREE GUYING FOR MULTI-TRUNK TREE DETAIL  
SCALE: NOT TO SCALE

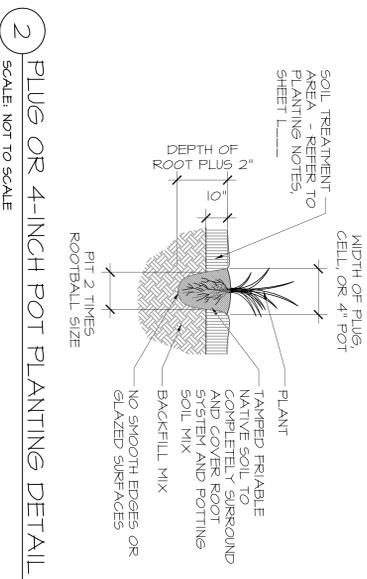


4 METAL EDGE DETAIL  
SCALE: NOT TO SCALE

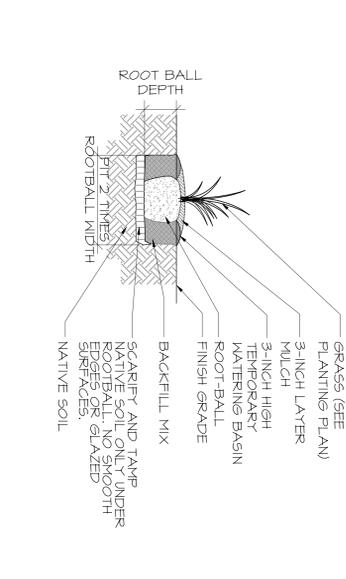
- NOTE:
- SEE DRAWING FOR LOCATIONS, SOME BOULDERS MAY BE LOCATED IN PLANTING OR PAVING AREAS.
  - AVOID CHIPPING OR SCRAPING BOULDER WHILE MOVING OR STORING.



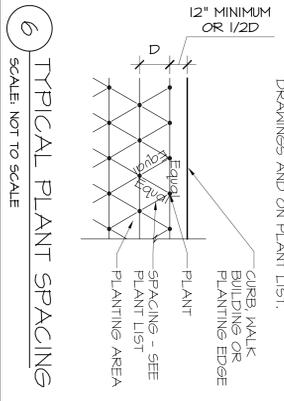
3 BOULDER PLACEMENT DETAIL  
SCALE: NOT TO SCALE



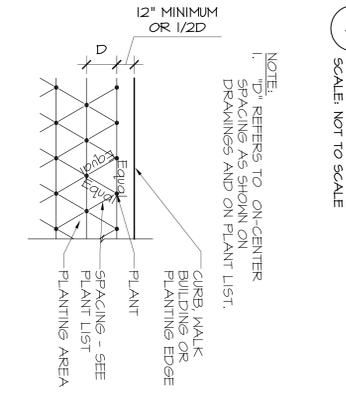
2 PLUG OR 4-INCH POT PLANTING DETAIL  
SCALE: NOT TO SCALE



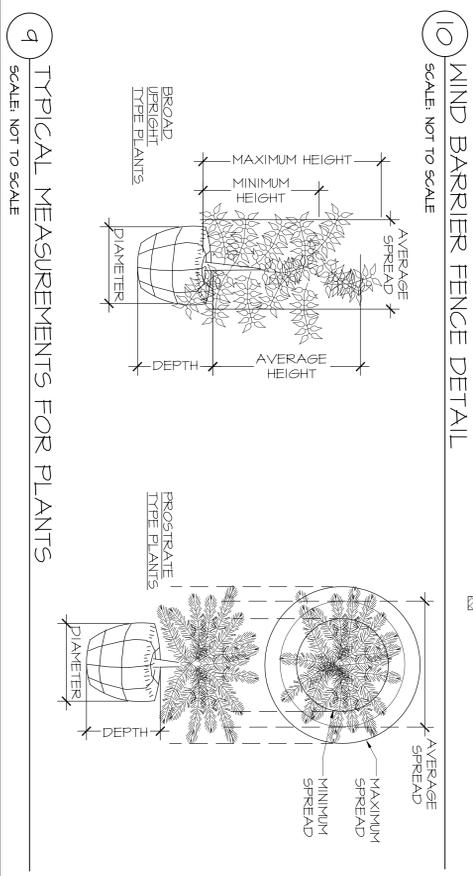
1 ORNAMENTAL GRASS PLANTING DETAIL  
SCALE: NOT TO SCALE



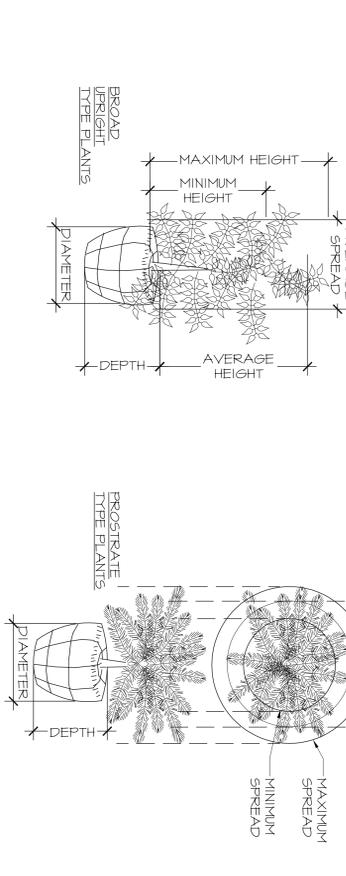
6 TYPICAL PLANT SPACING  
SCALE: NOT TO SCALE



5 SHRUB PLANTING DETAIL  
SCALE: NOT TO SCALE



10 WIND BARRIER FENCE DETAIL  
SCALE: NOT TO SCALE



9 TYPICAL MEASUREMENTS FOR PLANTS  
SCALE: NOT TO SCALE

**fuse architects inc.**  
411 ophira ave.  
oakland, ca. 94610  
510.479.9285  
www.fusearchitects.com

**JONI LANECKI**  
REGISTERED ARCHITECT  
No. 11111  
No. 9189  
No. 02414

MARK	DATE	DESCRIPTION

515 SWIFT ST SANTA CRUZ, CALIFORNIA 95060  
PHONE: 408.242.0000 FAX: 408.242.0004  
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THE CHURCH OF  
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APN: 031-251-018

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Marina, California 93933

PROJECT #: 13-300  
SCALE: PER PLAN  
DATE: DECEMBER 17, 2013

APPROVALS

DESIGNED BY: JJJ  
DRAWN BY: AZ  
CHECKED BY:

SHEET TITLE  
LANDSCAPE PLANTING DETAILS

SHEET NUMBER  
**L2.0**



JAMES D. EDDY ASSOCIATES  
 LANDSCAPE IRRIGATION ENGINEERS  
 P.O. BOX 22971  
 DANVILLE, CALIFORNIA 94526  
 P (925) 867-3339  
 EMAIL: JDE@EDDYASSOCIATES.COM  
 PLANNING-DESIGN-MANAGEMENT  
 JDE PROJECT NO: 13034

**fuse** architects inc.  
 411 capitola ave.  
 capitola, CA, 95010  
 831.479.9295  
 www.fusearchitecture.com

**JONI L. JANECKI**  
 ASSOCIATES  
 515 SWIFT ST. SANTA CRUZ, CA 95060  
 PHONE 831-423-6000 FAX 831-423-6004  
 EMAIL: JLJ@LJL.COM WWW.LJL.COM  
 California Landscape Architect License 3142

REVISIONS		
MARK	DATE	DESCRIPTION



THE CHURCH OF  
**JESUS CHRIST**  
 OF LATTER-DAY SAINTS

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Marina Building (P.N. 596-2275)  
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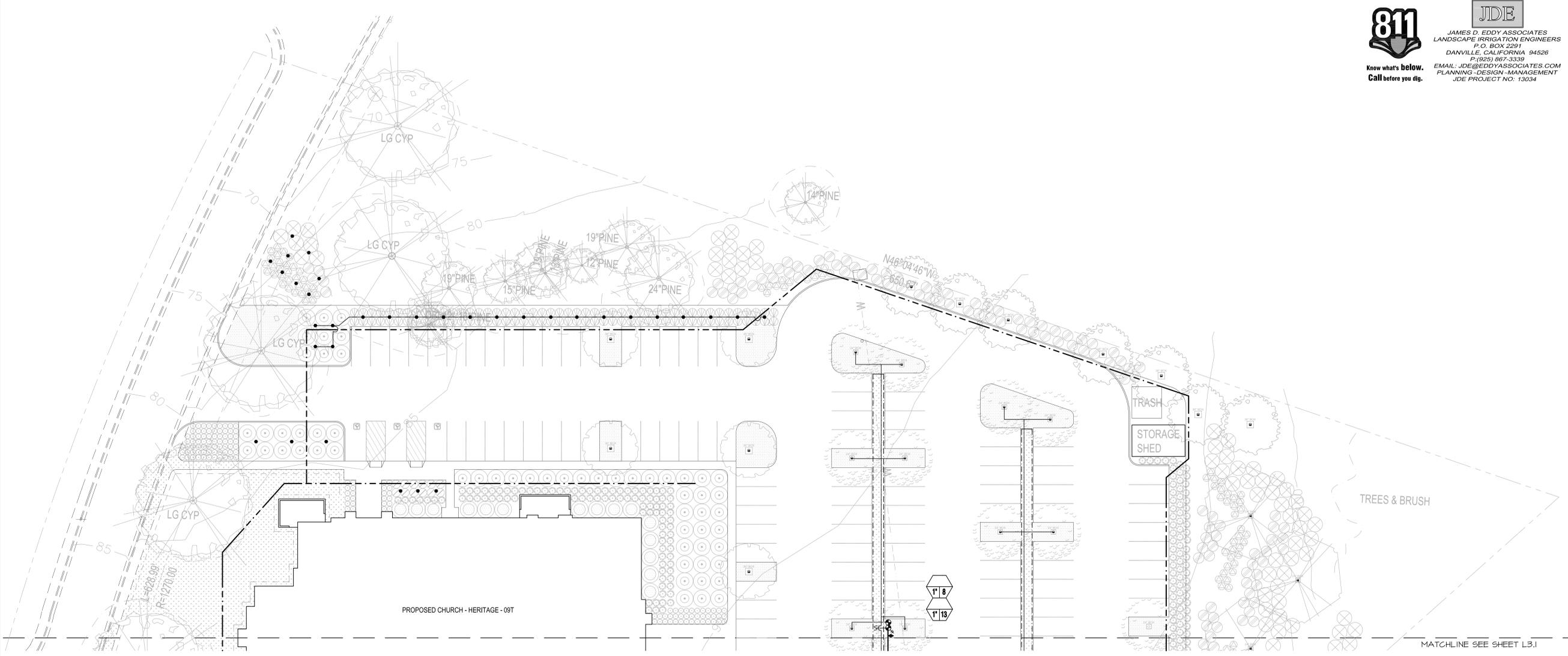
SCALE: 1"=20'-0"

DATE: DECEMBER 16, 2013

APPROVALS	
DESIGNED BY:	JDE
DRAWN BY:	ST
CHECKED BY:	

SHEET TITLE  
 IRRIGATION PLAN

SHEET NUMBER  
**L3.0**



MATCHLINE SEE SHEET L3.1

IRRIGATION PLAN  
 SCALE: 1" = 20'-0"





Know what's below.  
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JAMES D. EDDY ASSOCIATES  
LANDSCAPE IRRIGATION ENGINEERS  
P.O. BOX 22971  
DANVILLE, CALIFORNIA 94526  
P: (925) 867-3339  
EMAIL: JDE@EDDYASSOCIATES.COM  
PLANNING-DESIGN-MANAGEMENT  
JDE PROJECT NO: 13034

fuse architects inc.  
411 capitol ave.  
capitola, CA, 95010  
831.479.9295  
www.fusearchitecture.com

JONI L. JANECKI  
& ASSOCIATES

515 SWIFT ST. SANTA CRUZ, CA 95060  
PHONE: 831-423-8008 | FAX: 831-423-8008  
EMAIL: JLJ@LJAC.COM | WWW.LJAC.COM  
California Landscape Architect License #192

REVISIONS		
MARK	DATE	DESCRIPTION



THE CHURCH OF  
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OF LATTER-DAY SAINTS

APN: 031-251-018

Marina Building (P.N. 596-2275)  
Monterey California Stake  
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PROJECT #: 13-300

SCALE: 1"=20'-0"

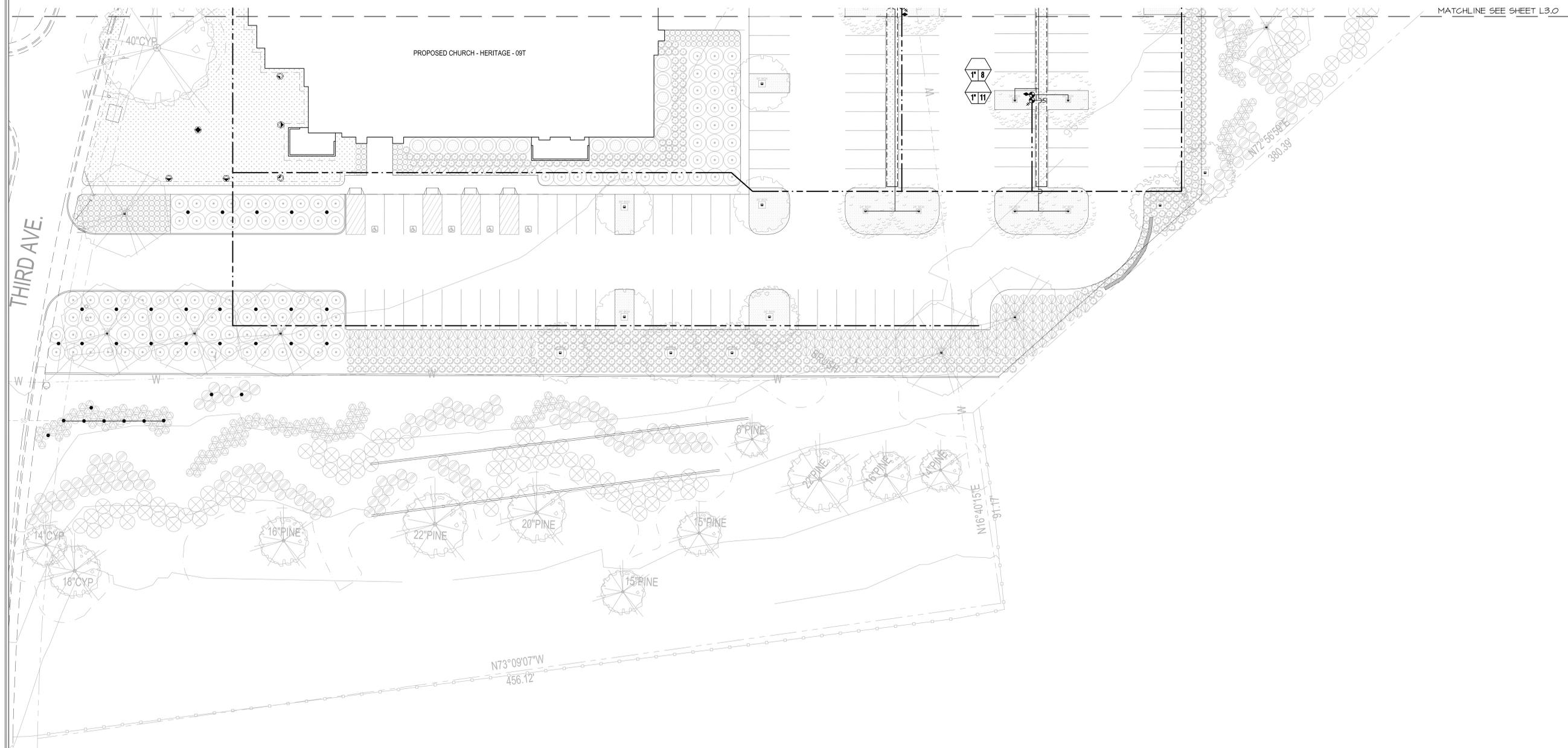
DATE: DECEMBER 16, 2013

APPROVALS	
DESIGNED BY:	JDE
DRAWN BY:	ST
CHECKED BY:	

SHEET TITLE  
IRRIGATION PLAN

SHEET NUMBER

L3.1



SHEET NOTES

1 IRRIGATION WATER METER: 1.5" IRRIGATION SYSTEM WATER METER AND 2" SERVICE LINE TO METER SHALL BE COORDINATED AND INSTALLED UNDER CIVIL WORK. IRRIGATION DEMAND: 20 GPM (MAXIMUM) AT 65 PSI STATIC PRESSURE PER THE MARINA COAST WATER DISTRICT AND SITE MEASUREMENTS. REFER TO SITE OR CIVIL DRAWINGS FOR EXACT LOCATION OF METER AND SERVICE CONNECTION.

IRRIGATION PLAN  
SCALE: 1" = 20'-0"



**CIMIS Eto DATA**

NOTE: DATA IS TAKEN FROM THE CLOSEST AND OPERATIONAL CIMIS STATION TO THE PROJECT AND FOR THE FULL CALENDAR YEAR PRIOR TO THE DATE OF THE PROJECT DESIGN.

CIMIS STATION NUMBER: #19 CASTROVILLE, CA

USEABLE RAIN FACTOR: 0.25

YEAR 2 REDUCTION ETO FACTOR(%): 10

MONTH:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL
ETo PER MONTH:	1.85	2.22	2.89	4.39	5.02	4.60	4.47	2.74	2.86	2.92	1.92	1.92	37.80
ETo PER WEEK:	0.42	0.50	0.65	0.99	1.14	1.04	1.01	0.62	0.65	0.66	0.43	0.43	

**PRECIPITATION DATA (RAIN):**

MONTH:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL
PRECIPITATION PER MONTH:	1.25	3.17	4.71	0.14	0.94	0.58	0.24	0.04	0.00	1.37	1.50	0.06	14.00

USEABLE PRECIPITATION PER MONTH (RAIN FACTOR X MONTHLY PRECIP. RATE):	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL
	0.31	0.79	1.18	0.04	0.24	0.15	0.06	0.01	0.00	0.34	0.38	0.02	3.50

PRECIPITATION PER WEEK:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL
	0.07	0.18	0.27	0.01	0.05	0.03	0.01	0.00	0.00	0.08	0.08	0.00	

**ADJUSTED ETO WITH PRECIPITATION:**

MONTH:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL
ETo PER MONTH:	0	0	0	4.36	4.79	4.46	4.41	2.73	2.86	2.58	0	1.91	28.08
ETo PER WEEK:	N/A	N/A	N/A	0.99	1.08	1.01	1.00	0.62	0.65	0.58	N/A	0.43	

**STREAM ROTOR IRRIGATION @ BIOSWALE AREAS**

MANUFACTURER:	HUNTER													Pr RATE(INCHES/HOUR):	0.6
MODEL:	MP ROTATOR													SPECIES FACTOR:	0.3
PSI:	40													IRRIGATION EFFICIENCY:	0.7
SPACING(Feet):	27													SOIL INFILTRATION RATE(INCHES):	0.2
GPW:	3.7													YEAR 2 REDUCTION AMOUNT(%):	10
MONTH:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL		
ETo/MONTH(INCHES)	0.0	0.0	0.0	4.4	4.8	4.5	4.4	2.7	2.9	2.6	0	1.9	28.08		
ETo/WEEK(INCHES)	0.0	0.0	0.0	1.0	1.1	1.0	1.0	0.6	0.6	0.6	0.0	0.4			
MINUTES PER WEEK	YEAR 1	0	0	0	45	50	46	29	30	27	0	20			
	YEAR 2	0	0	0	41	45	42	27	27	25	0	18			
DAYS PER WEEK	YEAR 1	N/A	N/A	N/A	3	5	5	5	5	3	N/A	1			
	YEAR 2	N/A	N/A	N/A	3	5	5	5	5	3	N/A	1			
MINUTES OF WATER PER DAY	YEAR 1	N/A	N/A	N/A	15	10	10	10	6	6	9	N/A	20		
	YEAR 2	N/A	N/A	N/A	14	9	9	9	6	6	9	N/A	18		
CYCLES PER DAY TO MEET SOIL INFILTRATION RATE	YEAR 1	N/A	N/A	N/A	2	2	2	1	1	1	N/A	3			
	YEAR 2	N/A	N/A	N/A	2	2	2	1	1	1	N/A	3			
MAX. RUN TIME (MINUTES) PER CYCLE	YEAR 1	N/A	N/A	N/A	8	5	5	10	6	6	9	N/A	7		
	YEAR 2	N/A	N/A	N/A	7	5	5	9	6	6	9	N/A	6		

**MULTI-OUTLET EMITTER IRRIGATION**

MANUFACTURER:	RAIN BIRD													TOTAL NUMBER OF EMITTER OUTLETS AT PLANT:	1
MODEL:	XBD													TOTAL GPM OF EMITTER(S):	0.02
PSI:	30													MICROCLIMATE FACTOR(Kmc):	1
GPW PER OUTLET:	1													DENSITY FACTOR(Kd):	1
PLANT CANOPY(FT.):	2.5													IRRIGATION EFFICIENCY:	0.85
PLANT CANOPY(SQ.FT.):	4.9													SOIL INFILTRATION RATE(INCHES):	0.2
SPECIES FACTOR(Kc):	0.3													YEAR 2 REDUCTION AMOUNT(%):	10
MONTH:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL		
ADJUSTED ETO/MONTH(INCHES)	0.0	0.0	0.0	4.4	4.8	4.5	4.4	2.7	2.9	2.6	0	1.9	28.08		
ADJUSTED ETO/WEEK(INCHES)	0.0	0.0	0.0	1.0	1.1	1.0	1.0	0.6	0.6	0.6	0.0	0.4			
MINUTES PER WEEK	YEAR 1	0	0	0	64	71	66	65	40	42	38	0	28		
	YEAR 2	0	0	0	58	64	60	59	36	38	35	0	26		
DAYS PER WEEK	YEAR 1	N/A	N/A	N/A	2	4	4	4	4	4	3	N/A	1		
	YEAR 2	N/A	N/A	N/A	2	4	4	4	4	4	3	N/A	1		
MINUTES OF WATER PER DAY	YEAR 1	N/A	N/A	N/A	32	18	17	17	10	11	13	N/A	28		
	YEAR 2	N/A	N/A	N/A	29	17	16	16	9	10	12	N/A	26		
CYCLES PER DAY TO MEET SOIL INFILTRATION RATE	YEAR 1	N/A	N/A	N/A	3	2	2	2	1	1	1	N/A	3		
	YEAR 2	N/A	N/A	N/A	3	2	2	2	1	1	1	N/A	3		
MAX. RUN TIME (MINUTES) PER CYCLE	YEAR 1	N/A	N/A	N/A	11	9	9	9	10	11	13	N/A	10		
	YEAR 2	N/A	N/A	N/A	10	9	8	8	9	10	12	N/A	9		

**BUBBLER IRRIGATION @ TREES**

MANUFACTURER:	RAIN BIRD													TREE CANOPY(SQ.FT.):	19.6
MODEL:	RWS													SPECIES FACTOR(Kc):	0.5
PSI:	30													MICROCLIMATE FACTOR(Kmc):	1
GPW OF BUBBLER:	0.5													DENSITY FACTOR(Kd):	1
NO. OF BUBBLERS:	2													IRRIGATION EFFICIENCY:	0.7
GPW OF ALL BUBBLER(S):	1													SOIL INFILTRATION RATE(INCHES):	0.2
TREE CANOPY(FT.):	5													YEAR 2 REDUCTION AMOUNT(%):	10
MONTH:	JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC	TOTAL		
ADJUSTED ETO/MONTH(INCHES)	0.0	0.0	0.0	4.4	4.8	4.5	4.4	2.7	2.9	2.6	0	1.9	28.08		
ADJUSTED ETO/WEEK(INCHES)	0.0	0.0	0.0	1.0	1.1	1.0	1.0	0.6	0.6	0.6	0.0	0.4			
MINUTES PER WEEK	YEAR 1	0	0	0	9	10	9	9	6	6	6	0	4		
	YEAR 2	0	0	0	9	9	9	9	6	6	6	0	4		
DAYS PER WEEK	YEAR 1	N/A	N/A	N/A	2	3	3	3	3	3	3	N/A	1		
	YEAR 2	N/A	N/A	N/A	2	3	3	3	3	3	3	N/A	1		
MINUTES OF WATER PER DAY	YEAR 1	N/A	N/A	N/A	5	4	3	3	2	2	2	N/A	4		
	YEAR 2	N/A	N/A	N/A	5	4	3	3	2	2	2	N/A	4		
CYCLES PER DAY TO MEET SOIL INFILTRATION RATE	YEAR 1	N/A	N/A	N/A	3	2	2	2	2	2	1	N/A	3		
	YEAR 2	N/A	N/A	N/A	3	2	2	2	2	2	1	N/A	3		
MAX. RUN TIME (MINUTES) PER CYCLE	YEAR 1	N/A	N/A	N/A	2	2	2	2	1	1	2	N/A	2		
	YEAR 2	N/A	N/A	N/A	2	2	2	2	1	1	2	N/A	2		

THE SCHEDULES IARE INTENDED AS A GUIDE ONLY. ACTUAL WATERING TIMES WILL BE DEPENDANT ON ACTUAL Eto RATES, SOIL INFILTRATION RATE, AND SOIL WATER HOLDING CAPACITY.

**IRRIGATION INSTALLATION NOTES**

- PROVIDE INSTALLATION OF SYSTEM BY PERSONS FAMILIAR WITH IRRIGATION WORK AND UNDER THE SUPERVISION OF A QUALIFIED SUPERVISOR.
- OBTAIN THE PERMITS REQUIRED AND PROVIDE LABOR AND MATERIALS NECESSARY TO FULLY COMPLETE THE WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
- LOCATE AND PROTECT NEW OR EXISTING UTILITIES PRIOR TO EXCAVATION WORK.
- DO NOT DAMAGE EXISTING UTILITIES, PAVING OR STRUCTURES. PROVIDE THE NECESSARY REPAIRS AT NO ADDITIONAL COST TO THE LDS CHURCH.
- REMOVE DEBRIS AND ACCUMULATION OF DEBRIS AS A RESULT OF IRRIGATION CONSTRUCTION FROM THE SITE AND LEAVE AREA IN A CLEAN CONDITION ACCEPTABLE TO THE LDS CHURCH.
- MAINTAIN SITE FOR THE SPECIFIED CALENDAR DAYS FOLLOWING ACCEPTANCE OF THE WORK BY THE CHURCH'S REPRESENTATIVE AND MAKE CORRECTIONS, REPAIRS AND REPLACEMENTS TO THE IRRIGATION AS DIRECTED BY THE CHURCH'S REPRESENTATIVE UNTIL THE COMPLETION OF THE MAINTENANCE PERIOD.
- THE DRAWINGS ARE DIAGRAMMATIC. EQUIPMENT SHOWN IN PAVED AREAS IS FOR CLARITY ONLY AND SHALL BE INSTALLED IN PLANTING AREAS WHERE POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED. INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. WHERE FIELD DIFFERENCES EXIST, COORDINATE THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE CHURCH'S REPRESENTATIVE AND ACCORDING TO THE CONTRACT SPECIFICATIONS. NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC. BEFORE CONSTRUCTION. ASSUME FULL RESPONSIBILITY FOR REQUIRED REVISIONS IF THESE NOTIFICATIONS ARE NOT PERFORMED.
- THE INTENT OF THIS IRRIGATION SYSTEM DESIGN IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
- PROGRAM THE CONTROLLER TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. MAKE ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE AND WIND EXPOSURES.
- 120 VOLT A.C./1 AMP DEMAND ELECTRICAL SERVICE TO IRRIGATION CONTROLLER LOCATION SHALL BE PROVIDED UNDER ELECTRICAL CONTRACT WORK. IRRIGATION CONTRACTOR TO MAKE FINAL CONNECTION FROM ELECTRICAL STUB-OUT TO CONTROLLER AND PROVIDE PROPER GROUNDING PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- INSTALL NEW BATTERIES IN CONTROLLER TO RETAIN PROGRAM IN MEMORY DURING TEMPORARY POWER FAILURES. USE QUANTITY, TYPE, AND SIZE REQUIRED AS PER CONTROLLER MANUFACTURER'S INSTRUCTIONS.
- SCHEDULE A MEETING WHICH INCLUDES REPRESENTATIVES OF THE IRRIGATION CONTROLLER MANUFACTURER, THE MAINTENANCE CONTRACTOR, THE CHURCH'S REPRESENTATIVE AND THE IRRIGATION CONTRACTOR AT THE SITE FOR INSTRUCTION ON THE PROPER PROGRAMMING AND OPERATION OF THE IRRIGATION CONTROLLER.
- THE IRRIGATION SYSTEM IS DESIGNED FOR ONE (1) VALVE TO OPERATE AT THE SAME TIME. THIS WILL ALLOW THE SYSTEM TO IRRIGATE IN APPROXIMATELY 6 TO 8 HOURS OR LESS ACCORDING TO WEATHER CONDITIONS. THE TOTAL GPM DEMAND OF SYSTEM WILL BE APPROXIMATELY 25 GPM OR LESS. DO NOT UNDER ANY CIRCUMSTANCE EXCEED 25 GPM OR OPERATE MULTIPLE VALVES AT THE SAME TIME WHICH EXCEEDS 25 GPM.
- IRRIGATION WIRES:
  - CONTROLLER TO REMOTE CONTROL VALVE: 14 AWG-UF, SOLID COPPER, SINGLE JACKETED CONDUCTOR, DIRECT BURIAL WIRE
  - SPLICES: MADE WITH 3M DBY-6 AND DBR-6, OR APPROVED EQUAL SEAL PAKCS.
  - SPARE WIRE: INSTALL TWO (2) SPARE SINGLE JACKETED CONDUCTOR WIRES ALONG THE ENTIRE MAIN LINE. INSTALL 24" OF EXCESS CABLE INTO A VALVE BOX AT EACH VALVE GROUP.
  - STUBBED CABLE: WEATHERPROOF UNUSED WIRE ENDS.
  - SPLICING: SPLICING OF CONTROL WIRES IS NOT PERMITTED EXCEPT IN VALVE BOXES. LEAVE A 36" LONG, 1" DIAMETER COIL OF EXCESS WIRE AT EACH SPLICE.
- LEAVE A 36" LONG EXPANSION LOOP EVERY 100 FEET ALONG WIRE RUN. TAPE WIRES TOGETHER EVERY TEN FEET. TAPING OF WIRES IS NOT REQUIRED INSIDE SLEEVES OR CONDUITS.
- PLASTIC VALVE BOXES ARE SHALL BE PURPLE IN COLOR WITH BOLT DOWN, NON-HINGED GREEN COVER MARKED "IRRIGATION" AND INDICATING RECYCLED WATER USE. BOX BODY SHALL HAVE KNOCK OUTS. MANUFACTURER: RAIN BIRD, CARSON, BROOKS, OR APPLIED ENGINEERING.
- INSTALL REMOTE CONTROL VALVE BOXES 12" FROM WALK, CURB, LAWN, HEADER BOARD, BUILDING, OR LANDSCAPE FEATURE. AT MULTIPLE VALVE BOX GROUPS, EACH BOX SHALL BE AN EQUAL DISTANCE FROM THE WALK, CURB, LAWN, ETC. AND EACH BOX SHALL BE 12" APART. SHORT SIDE OF RECTANGULAR VALVE BOXES SHALL BE PARALLEL TO WALK, CURB, LAWN, ETC. REFER TO VALVE BOX INSTALLATION DETAIL.
- INSTALL QUICK COUPLING VALVES IN LOCATIONS EASILY ACCESSIBLE BY MAINTENANCE PERSONNEL, SUCH AS ADJACENT TO WALKS, CURBS (ALIGNED WITH PARKING STRIPES), RCV VALVE BOXES OR LAWN HEADERBOARDS.
- VALVE LOCATIONS ON DRAWINGS ARE DIAGRAMMATIC. INSTALL IN GROUND COVER/SHRUB AREAS.
- FLUSH AND ADJUST SPRINKLER HEADS FOR EFFICIENT PERFORMANCE. PREVENT OVERSPRAY ON THE WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE. SELECT THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND THROTTLE THE FLOW CONTROL OR PRESSURE REGULATION DEVICE AT EACH VALVE TO OBTAIN THE BEST OPERATING PRESSURE FOR EACH SYSTEM.
- SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- IRRIGATION HEAD LAYOUT AND PIPING AS SHOWN ON THE DRAWINGS IS INDICATIVE OF THE WORK TO BE INSTALLED. IRRIGATION HEADS, ARC OF SPRAY, RADIUS OF SPRAY AND PIPING AT CERTAIN LOCATIONS MAY REQUIRE FIELD ADJUSTMENT TO PREVENT HARM TO TREE ROOTS AND INTERFERENCE BY TREES OF IRRIGATION SPRAY. EXERCISE PARTICULAR ATTENTION AT ALL TREES TO ELIMINATE DIRECT SPRAY OF IRRIGATION HEADS ON TREE TRUNKS.
- LOCATE BUBBLER OUTLETS ON UP-HILL SIDE OF PLANT OR TREE, REFER TO INSTALLATION DETAIL.
- WHERE IT IS NECESSARY TO EXCAVATE ADJACENT TO EXISTING TREES, AVOID INJURY TO TREES AND THE TREE ROOTS. EXCAVATION IN AREAS WHERE TWO (2) INCH AND LARGER ROOTS OCCUR SHALL BE DONE BY HAND DIGGING. ROOTS ONE (1) INCH AND LARGER IN DIAMETER SHALL BE PAINTED WITH TWO COATS OF TREE SEAL, OR EQUAL. TRENCHES ADJACENT TO TREE SHOULD BE CLOSED WITHIN TWENTY-FOUR (24) HOURS; AND WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE SHALL BE KEPT SHADED WITH WET BURLAP OR CANVAS. DUE TO THE ABUNDANCE OF EXISTING TREES, THE CONTRACTOR MUST BE AWARE OF EXISTING TREES AND ROOT SYSTEMS WHEN TRENCHING. USE HAND TRENCHING (AS REQUIRED) IN ORDER TO ELIMINATE THE CHANCE FOR DAMAGE TO ROOT SYSTEMS. ALL EXISTING TREES ARE TO BE PROTECTED FROM DAMAGE DUE TO MACHINERY AND/OR HAND TRENCHING.
- THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE UNIVERSITY'S REPRESENTATIVE.
- IRRIGATION DEMAND: 1-25 GPM AT XX+ PSI DYNAMIC PRESSURE AT THE IRRIGATION POINT OF CONNECTION.
- PIPE THREAD SEALANT COMPOUND SHALL BE PERMATEX "TACK AND SEAL" OR RECTORSAL T+2.
- AFTER THE PIPING AND WIRE IS INSTALLED THROUGH SLEEVES, GROUT THE ENDS OF THE SLEEVES TO PREVENT ROOT INTRUSION INTO THE SLEEVE.
- COORDINATION NOTE: ELECTRICAL CONTRACTOR TO PROVIDE 120 VAC POWER TO CONTROLLER WHICH INCLUDES CONDUIT AND PULL BOXES IN SOIL OR STRUCTURE. WIRING TO REMOTE CONTROL VALVES AND CONTROLLER SHALL BE COMPLETED UNDER THE IRRIGATION CONTRACT WORK.
- DO NOT INSTALL MAIN OR LATERAL LINE PIPING UNDER TREE ROOTBALLS. PLAN PIPING INSTALLATION TO KEEP PIPING AWAY FROM TREE ROOTZONES.
- REFER TO PLANTING PLAN FOR EXACT QUANTITIES AND PLACEMENT FOR TREE AND SHRUB MATERIALS.
- ANY VARIANCE IN THE FIELD TO THE DRAWINGS, SPECIFIED MATERIALS, AND SPECIFICATIONS WILL REQUIRE THE SUBMITTAL OF A SHOP DRAWING FROM THE CONTRACTOR AND AN APPROVAL BY THE CHURCH'S REPRESENTATIVE. CONSTRUCTION CHANGES BY THE CONTRACTOR AND WITHOUT THE SUBMITTAL OF SHOP DRAWINGS AND FINAL CHURCH'S REPRESENTATIVE APPROVAL ARE AT THE RISK OF THE CONTRACTOR.
- THE IRRIGATION DESIGN COMPLIES WITH THE STATE OF CALIFORNIA'S AB 1881 MODEL WATER EFFICIENT LANDSCAPE ORDINANCE, THE CITY OF MARINA GUIDELINES, AND THE MARINA COAST WATER DISTRICT'S WATER CONSERVATION ORDINANCE.

**IRRIGATION LEGEND**

SYMBOL	MODEL NUMBER	MANUFACTURER	PSI	GPM	RADIUS MIN.-MAX.	PRECIP. RATE
<b>SHRUB POP-UP STREAM ROTOR WITH 40 PSI PRESSURE REGULATION, CHECK VALVE, AND RECYCLED WATER BODY CAP</b>						
☛	PROS-06-PRS40-CV-R/MP3000-360,180,90	HUNTER POP-UP WITH MP ROTATOR	40	3.7,1.8,0.9	22-30	0.45
☛	PROS-06-PRS40-CV-R/MP2000-360,270,180,90	HUNTER POP-UP WITH MP ROTATOR	40	1.5,1.1,0.8,0.4	16-19	0.45
☛	PROS-06-PRS40-CV-R/MP1000-360,270,180,90	HUNTER POP-UP WITH MP ROTATOR	40	0.8,0.6,0.4,0.2	12-14	0.45

**EMITTERS (TO SHRUBS)**

•	XBD-81	RAIN BIRD, MULTI-OUTLET	30	1 GPH/OUTLET	DRIP	1 GPH
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**BUBBLER TREE (FOR DEEP ROOT TREE WATERING)**

•	[RWS-B-C-140Z]+[RWS-SOCK]+[RWS-GRATE-P]	RAIN BIRD ROOT WATERING SYSTEM WITH SAND SOCK AND PURPLE GRATE (TWO PER TREE)	30	0.5	BUBBLER	
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**SUBSURFACE DRIPPERLINE**

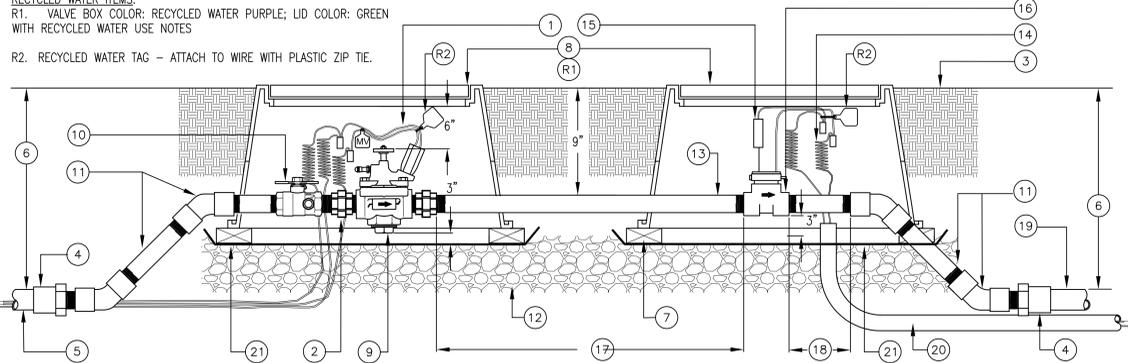
12" SPACING

SUBSURFACE IRRIGATION FOR TURF ZONES ADJACENT TO NON-PERMEABLE PAVEMENT OR UNDER STONE PAVERS: HUNTER SUB-SURFACE DRIPPERLINE AS FOLLOWS: 5/8" PLD-ESD PRESSURE COMPENSATING DRIP LINE, MODEL PLD-ESD-06-12, 0.6 GPH, 12" EMITTER SPACING, WITH HUNTER FITTINGS. INSTALL TUBING AT A SPACING OF 10"-12" BETWEEN ROWS UNLESS OTHERWISE NOTED ON THE PLANS, 4"-6" FROM PAVEMENT OR LANDSCAPE EDGE, AND TRIANGULATE THE EMITTER PORTS BETWEEN ROWS. INSTALL EACH ZONE WITH AIR VALVE, FLUSH VALVE, AND OPERATION INDICATOR AS INDICATED IN THE DRIPPERLINE CONSTRUCTION DETAILS. PROVIDE 4"-6" SOIL COVER.

**EACH DRIPPERLINE TUBING ZONE SHALL INCLUDE THE FOLLOWING ITEMS:**

- PLD-BV HUNTER HOSE END FLUSH DEVICE FOR FLUSHING THE PIPING AT END RUNS OF THE TORO DRIPPERLINE SYSTEMS
- PLD-AVR HUNTER DRIPPERLINE AIR VENT/VACUUM RELIEF VALVE. INSTALL IN THE MIDDLE OF DRIPPERLINE SYSTEMS TO EXHAUST AIR OR RELIEVE VACUUM
- WILKINS REDUCED PRESSURE PRINCIPLE BACKFLOW ASSEMBLY AND PRESSURE REDUCING VALVE WITH ENCLOSURE
- 2" MASTER VALVE AND FLOW METER ASSEMBLY: SUPERIOR SOLENOID CONTROL VALVE. NORMALLY CLOSED, BRASS CONSTRUCTION, FIPT, AND PURPLE COVER. IRRITROL FLOW SENSOR FOR SENSING GALLONS OF WATER USED. HIGH FLOW CONDITION, LOW FLOW CONDITION, AND UNEXPECTED FLOW

RECYCLED WATER ITEMS:  
 R1. VALVE BOX COLOR: RECYCLED WATER PURPLE; LID COLOR: GREEN WITH RECYCLED WATER USE NOTES  
 R2. RECYCLED WATER TAG - ATTACH TO WIRE WITH PLASTIC ZIP TIE.

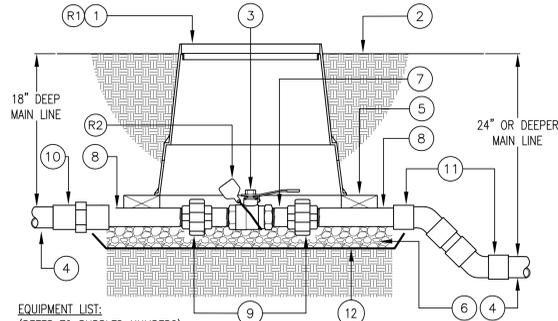


**ITEM LIST AND INSTALLATION NOTES:**

- VALVE CONTROL WIRE - PROVIDE 3M DBY SEAL PACKS AT SPLICES, 36" OF EXCESS WIRE IN A 1" DIAMETER COIL AND VALVE TAG
- UNION, PVC SCH 80, MIPT X THREAD, 2 TOTAL, KBI U-XXXX-TMV SERIES
- FINISH GRADE
- MALE ADAPTER, PVC (SCHEDULE AS SPECIFIED IN IRRIGATION LEGEND)
- PVC MAIN LINE FROM BACKFLOW PREVENTION ASSEMBLY
- REFER TO IRRIGATION LEGEND OR SPECIFICATIONS FOR SOIL COVER
- COMMON BRICK, 8 TOTAL, INSTALL AT EACH CORNER OF EACH VALVE BOX
- VALVE BOX, PLASTIC, RECTANGULAR WITH BOLT-DOWN LID. INSTALL BOX AS SHOWN IN BOX INSTALLATION DETAIL. TOP DIMENSION 11-3/4" X 17" X 12" DEEP.
- MASTER CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED (SIZE AS SPECIFIED IN IRRIGATION LEGEND OR SPECIFICATIONS)
- BALL VALVE, BRASS, THREADED
- ELBOWS (45 DEGREE), NIPPLES (TBE), BRASS, THREADED, AS REQUIRED
- PEA GRAVEL - 6" DEEP BELOW VALVE (NO SOIL IN VALVE BOX)
- NIPPLE, BRASS, TBE (BETWEEN MASTER VALVE & FLOW SENSOR)
- CONTROL WIRE: PROVIDE 3M DBY SEAL PACKS AT SPLICES, 36" OF EXCESS WIRE IN A 1" DIAMETER COIL (#14 AWG-UF WIRE) AND CONTROLLER I.D. TAG
- 0.067 AMP FUSE LINK TO PROTECT METERING INSERT
- FLOW SENSOR, SIZE AS SPECIFIED IN LEGEND - INSTALL FLOW SENSOR TO ALLOW STRAIGHT-FLOW OF A MINIMUM OF TEN TIMES THE DIAMETER OF THE MAIN LINE PIPE ON THE INLET SIDE AND FIVE TIMES THE DIAMETER OF THE MAIN LINE PIPE ON THE OUTLET SIDE OF THE SENSOR. WIRE TO CONTROLLER AS DIRECTED BY MANUFACTURER'S REPRESENTATIVE.
- PROVIDE TEN (10) X THE PIPE DIAMETER; EX: 10 X 2.5" PIPE = 25" MINIMUM
- PROVIDE FIVE (5) X THE PIPE DIAMETER; EX: 5 X 2.5" = 12.5" MINIMUM
- PVC MAIN LINE TO IRRIGATION SYSTEM
- INSTALL FLOW SENSOR CABLE IN 1" DIA. PVC CONDUIT FROM FLOW SENSOR TO CONTROLLER ENCLOSURE. USE #14-AWG-UF WIRE AND USE A COLORED WIRE THAT MATCHES THE FLOW SENSOR WIRE. PROVIDE AND INSTALL PULL BOXES EVERY 200 FEET. DO NOT SPLICE SENSOR WIRE EXCEPT AT SENSOR AND CONTROLLER.
- METAL WIRE MESH TO PREVENT RODENT INTRUSION, 1/2" MESH, 19 GAUGE, GALVANIZED

**1 MASTER CONTROL VALVE & FLOW SENSOR**  
 NOT TO SCALE

RECYCLED WATER ITEMS:  
 R1. VALVE BOX COLOR: RECYCLED WATER PURPLE; LID COLOR: GREEN WITH RECYCLED WATER USE NOTES.  
 R2. RECYCLED WATER TAG - ATTACH TO WIRE WITH A PLASTIC ZIP TIE.

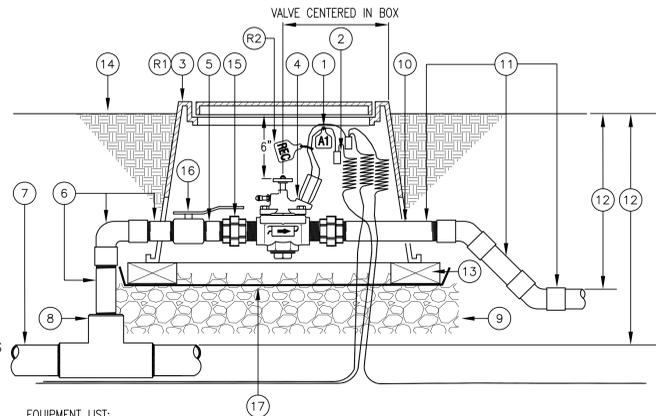


**EQUIPMENT LIST:**

- 14 X 19 X 18 DEEP RECTANGULAR PLASTIC VALVE BOX WITH PLASTIC BOLT-DOWN LID.
  - FINISH GRADE
  - BALL VALVE
  - PVC MAIN LINE, SIZE AND TYPE PER SPECIFICATIONS
  - COMMON BRICK, 4 TOTAL, ONE AT EACH CORNER OF BOX.
  - PEA GRAVEL BASE, 6" DEEP
  - PVC SCH 80 CLOSE TBE NIPPLE, 2 TOTAL, SIZED EQUAL TO BALL VALVE
  - PVC SCH 80 TOE NIPPLE, 2 TOTAL, SIZED EQUAL TO BALL VALVE
  - UNION, PVC SCH 80, MIPT X THREAD, 2 TOTAL, KBI U-XXXX-TMV SERIES, SIZED EQUAL TO VALVE
  - FOR 18" MAIN LINE COVER USE PVC SCH 80 FEMALE ADAPTERS, SxS, 2 TOTAL, ONE AT EACH END
  - FOR 24" MAIN LINE COVER USE PVC SCH 80 45 DEGREE ELLS, SxS, 4 TOTAL - USE REDUCING ELLS AS NEEDED
  - WIRE MESH TO PREVENT RODENT INTRUSION, GALVANIZED STEEL, 1/2" MESH, 19 GAUGE
- INSTALLATION NOTES:**
- INSTALL VALVE BOX FLUSH WITH FINISH GRADE IN TURF AND 1" ABOVE FINISH GRADE IN SHRUB AREAS
  - KEEP BRICKS AWAY FROM PIPE.

**2 F.I.P.T. BALL VALVE WITH UNIONS**  
 NOT TO SCALE

RECYCLED WATER ITEMS:  
 R1. VALVE BOX COLOR: RECYCLED WATER PURPLE; LID COLOR: GREEN WITH RECYCLED WATER USE NOTES  
 R2. RECYCLED WATER TAG - ATTACH TO WIRE WITH PLASTIC ZIP TIE.

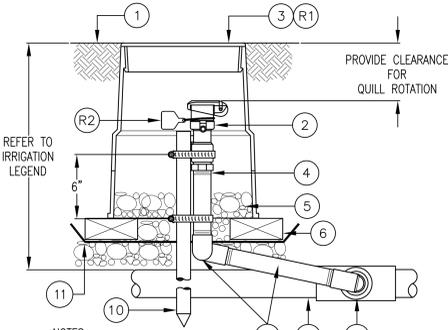


**EQUIPMENT LIST:**

- VALVE CONTROL WIRE AND ID TAG.
  - PROVIDE 3M DBY SEAL PACKS AT SPLICES AND 36" OF EXCESS WIRE IN A 1" DIAMETER COIL.
  - RECTANGULAR PLASTIC VALVE BOX WITH BOLT DOWN LID.
  - REMOTE CONTROL VALVE WITH FLOW CONTROL AND MANUAL BLEED.
  - NIPPLE, PVC SCH 80, THREADED, QUANTITY AS REQUIRED.
  - TEE, NIPPLES (2), PVC SCH 80, THREADED.
  - PVC MAIN LINE (SIZE AND TYPE PER IRRIGATION LEGEND OR SPECIFICATIONS).
  - MAIN LINE SERVICE TEE (SOLVENT WELD OR GASKETED X FIPT OUTLET)-REFER TO IRRIGATION LEGEND OR SPECIFICATIONS.
  - 3/4" X 1/2" CLEAN CRUSHED GRAVEL - 6" DEEP BELOW VALVE (NO SOIL IN VALVE BOX).
  - NIPPLE, PVC SCH 80, TBE
  - PVC LATERAL LINE: LOWER LATERAL LINE DOWN WITH SOLVENT WELDED PVC SCH 40 45 DEG. ELBOWS (SIZE AND TYPE PER IRRIGATION LEGEND OR SPECIFICATIONS).
  - REFER TO IRRIGATION LEGEND OR SPECIFICATIONS FOR SOIL COVER.
  - BRICK-1 EACH CORNER.
  - FINISH GRADE.
  - UNION, PVC SCH 80, MIPT X THREAD, 2 TOTAL, KBI U-XXXX-TMV SERIES
  - BALL VALVE, PVC, THREADED, FULL PORT FOR 1-1/2" AND SMALLER ASSEMBLIES; GATE VALVE, BRONZE, THREADED FOR 2" AND LARGER ASSEMBLIES (SEE NOTE BELOW).
  - METAL WIRE MESH, GALVANIZED, 1/2" MESH, 19 GAUGE
- INSTALLATION NOTES:**
- INSTALL ASSEMBLY WITHIN VALVE BOX TO MAKE COMPONENTS ACCESSIBLE FOR SERVICE AND MAINTENANCE (TYPICAL).
  - 1-1/2" AND LARGER REMOTE CONTROL VALVE INSTALLATIONS: INSTALL THE UPSTREAM SHUT-OFF VALVE WITHIN A SEPARATE ROUND PLASTIC VALVE BOX WITH BOLT-DOWN LID. TOP DIMENSION 10" DIAMETER.
  - INSTALL ONE SHUT-OFF VALVE FOR EACH ISOLATED RCV AND ONE SHUT-OFF VALVE FOR EACH GROUP OF RCV'S (SIZE TO MATCH LARGEST RCV)
  - SET TOP OF BOX 1" ABOVE FINISH GRADE IN SHRUB AREAS, FLUSH WITH GRADE IN TURF.
  - INSTALL ONE VALVE INSIDE VALVE BOX - NO EXCEPTIONS, UNLESS OTHERWISE NOTED.
  - INSTALL VALVE BOX AS SHOWN IN "BOX INSTALLATION DETAIL".
  - INSTALL A PVC SCH 80 TOE NIPPLE ON DOWNSTREAM SIDE OF DISCHARGE UNION, THREADED SIDE INTO UNION.
  - INSTALL WELDED WIRE MESH BELOW VALVE BOX TO PREVENT RODENT INTRUSION.

**6 REMOTE CONTROL VALVE**  
 NOT TO SCALE

RECYCLED WATER ITEMS:  
 R1. VALVE BOX COLOR: RECYCLED WATER PURPLE; LID COLOR: GREEN WITH RECYCLED WATER USE NOTES  
 R2. RECYCLED WATER TAG - ATTACH TO WIRE WITH PLASTIC ZIP TIE.

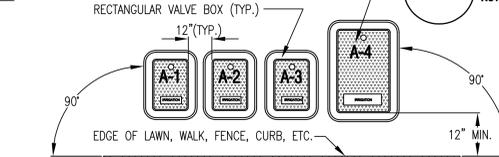


**NOTES:**

- FINISH GRADE/TOP OF MULCH
  - QUICK COUPLING VALVE
  - 10" ROUND PLASTIC VALVE BOX WITH PLASTIC BOLT-DOWN LID. INSTALL VALVE BOX FLUSH WITH GRADE IN TURF AND 1" ABOVE FINISH GRADE IN SHRUB AREAS.
  - PVC SCH 80 NIPPLE, TBE, SIZED EQUAL TO VALVE, LENGTH AS REQUIRED
  - PEA GRAVEL BASE, 6" DEEP
  - COMMON BRICK-2 TOTAL, 180 DEGREES APART. KEEP BRICKS AWAY FROM PIPE.
  - RAIN BIRD TSJ SWING JOINT
  - TEE OR ELL PER MAIN LINE SPECIFICATION
  - PVC MAIN LINE PIPE
  - #4 X 30" REBAR STAKE WITH STAINLESS STEEL GEAR CLAMPS OR EQUIVALENT SUPPORT SYSTEM
  - WIRE MESH TO PREVENT RODENT INTRUSION, GALVANIZED STEEL, 1/2" MESH, 19 GAUGE
- CONSTRUCTION NOTES:**
- FURNISH THREADED FITTINGS AND PIPING NOMINALLY SIZED IDENTICAL TO NOMINAL QUICK COUPLING VALVE INLET SIZE.
  - INSTALL VALVE IN GROUND COVER AREAS, NOT IN LAWN.

**5 QUICK COUPLING VALVE**  
 NOT TO SCALE

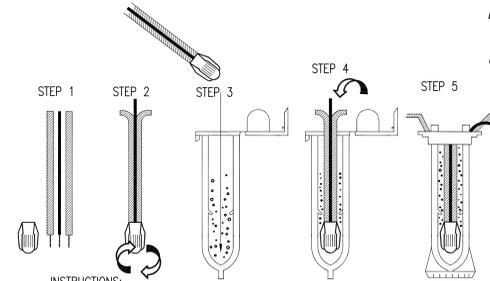
STAMP VALVE ID NUMBER ON LID OF BOX USING THE CHRISTY EVERHOT MODEL #004X HEAT STAMP.



**INSTALLATION NOTES:**

- INSTALL VALVE BOXES AS SHOWN IN THE DETAIL ABOVE.
- INSTALL VALVE BOX ASSEMBLIES IN SHRUB OR GROUND COVER ZONES. VALVE ASSEMBLIES INSTALLED IN A TURF ZONE IS PERMITTED ONLY IF A SHRUB OR GROUND COVER AREA DOES NOT EXIST IN THE PROXIMITY OF THE IRRIGATION ZONE.
- PLACE THE CENTER OF THE VALVE BOX OVER THE CENTER OF THE REMOTE CONTROL VALVE. INSTALL VALVE BOX IN A WAY TO ENABLE EASY SERVICING OR REMOVAL OF VALVE.
- INSTALL TOP OF BOX 1" ABOVE FINISHED GRADE IN SHRUB OR GROUND COVER AREAS OR EQUAL TO THE DEPTH OF THE MULCH AND FLUSH WITH GRADE IN TURF ZONES. INSTALL THE TOP OF BOX AT THE SAME ANGLE AS THE FINISHED GRADE.
- PREVENT THE COLLAPSE AND DEFORMATION OF VALVE BOX SIDES. DO NOT HEAVILY COMPACT SOIL AGAINST THE SIDES OF THE VALVE BOX.
- INSTALL EXTENSION RISERS TO VALVE BOX AS REQUIRED TO COMPLETELY ENCLOSE VALVE ASSEMBLY: PROVIDE EXTENSION RISER MANUFACTURED BY THE SAME MANUFACTURER OF THE VALVE BOX.
- PREVENT SOIL INTRUSION INTO THE BOX. USE POLYETHYLENE TAPE AROUND PIPE CUTOUPS AS NEEDED.
- SAWCUTTING OR MODIFYING THE VALVE BOXES BEYOND WHAT THE MANUFACTURER ALLOWS SHALL NOT BE PERMITTED.
- WHEN ASSEMBLY IS COMPLETE INSTALL THE GRAVEL BELOW THE VALVE. FINISHED GRAVEL SHALL BE CLEAN WITHOUT DEBRIS IN THE VALVE BOX.
- USE THE MANUFACTURER PROVIDED BOLT AND BOLT DOWN THE BOX LIDS TO PREVENT TAMPERING OR VANDALISM.
- VALVE BOX COLOR: PURPLE; LID COLOR: GREEN WITH RECYCLED WATER USE NOTES

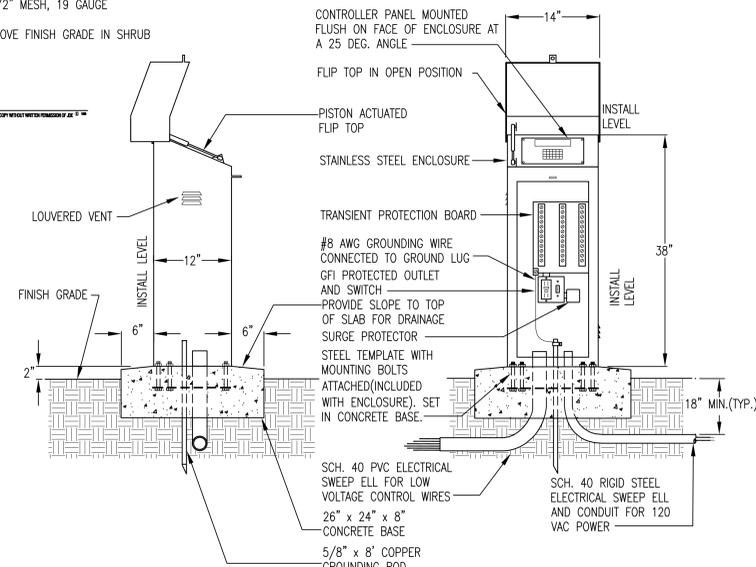
**7 BOX INSTALLATION**  
 NOT TO SCALE



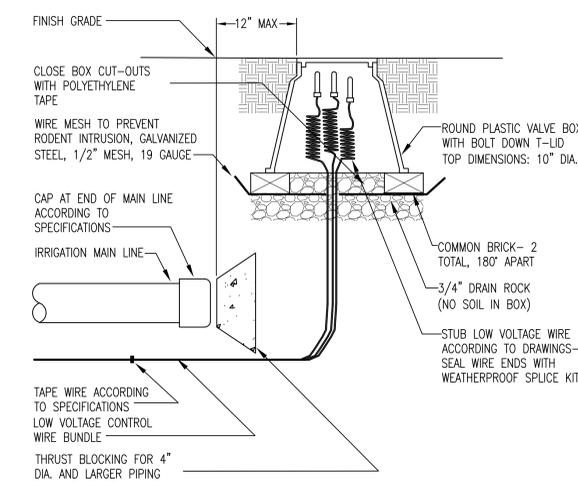
**INSTRUCTIONS:**

- STRIP WIRES APPROXIMATELY 1/2" TO EXPOSE WIRE.
- TWIST CONNECTOR AROUND WIRES CLOCKWISE UNTIL HAND TIGHT, DO NOT OVERTIGHTEN.
- INSERT WIRE ASSEMBLY INTO PLASTIC TUBE UNTIL WIRE CONNECTOR SNAPS PAST LIP IN BOTTOM OF TUBE.
- PLACE WIRES WHICH EXIT TUBE IN WIRE EXIT HOLES AND CLOSE CAP UNTIL IT SNAPS.
- INSPECT FINAL SPLICE ASSEMBLY TO BE SECURE AND FINISHED.

**3 WIRE SPLICE**  
 NOT TO SCALE



**4 FLIP-TOP CONTROLLER**  
 NOT TO SCALE



**8 MAIN LINE & WIRE STUB-OUT**  
 NOT TO SCALE

**JDE**  
 JAMES D. EDDY ASSOCIATES  
 LANDSCAPE IRRIGATION ENGINEERS  
 P.O. BOX 22971  
 DANVILLE, CALIFORNIA 94526  
 P: (925) 867-3339  
 EMAIL: JDE@EDDYASSOCIATES.COM  
 PLANNING-DESIGN-MANAGEMENT  
 JDE PROJECT NO: 13034

**fuse architects inc.**  
 411 capitola ave.  
 capitola, CA, 95010  
 831.479.9295  
 www.fusearchitecture.com

**JONI L. JANECKI & ASSOCIATES**  
 515 SWIFT ST. SANTA CRUZ, CA 95060  
 PHONE: 831.423.8000 FAX: 831.423.8008  
 EMAIL: SJL@JLACON.COM WWW: JLACON.COM  
 California Landscape Architect License 5192

REVISIONS		
MARK	DATE	DESCRIPTION



THE CHURCH OF  
**JESUS CHRIST**  
 OF LATTER-DAY SAINTS

APN: 031-251-018

Marina Building (P.N. 596-2275)  
 Monterey California Stake  
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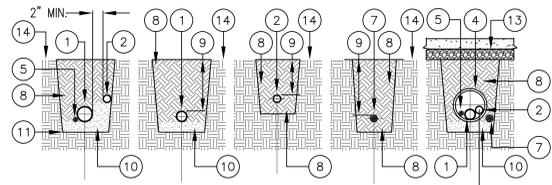
PROJECT #: 13-300  
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 DATE: DECEMBER 16, 2013

**APPROVALS**

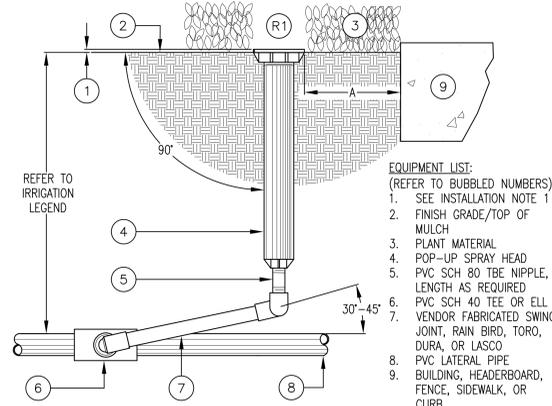
DESIGNED BY: JDE  
 DRAWN BY: ST  
 CHECKED BY:

**SHEET TITLE**  
 IRRIGATION DETAILS

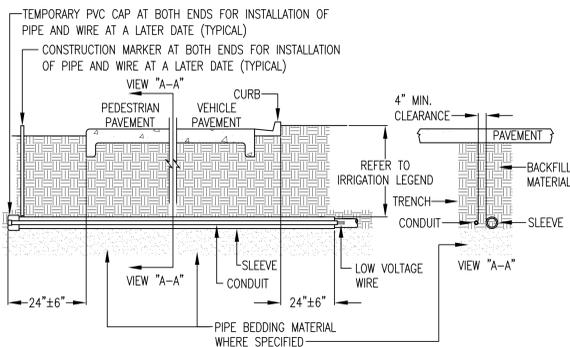
**SHEET NUMBER**  
**L3.3**



- PLAN VIEWS**
- ITEM LIST AND INSTALLATION NOTES:**
- MAIN LINE PIPE, PROVIDE A MINIMUM OF 2" BETWEEN ALL PIPES.
  - LATERAL LINE PIPE, PROVIDE A MINIMUM OF 2" BETWEEN ALL PIPES.
  - SNAKE SOLVENT WELD PLASTIC PIPING IN TRENCH AS SHOWN.
  - SLEEVE BELOW ALL HARDSCAPE ELEMENTS WITH SLEEVING TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE WITHIN.
  - WIRE BUNDLE: INSTALL WIRING BENEATH AND BESIDE MAIN LINE. TAPE AND BUNDLE AT 10-FOOT INTERVALS.
  - TIE A 24-INCH LOOP IN WIRING AT CHANGES OF DIRECTION OF 30° OR GREATER. UNTIE AFTER ALL CONNECTIONS HAVE BEEN MADE.
  - LOW VOLTAGE WIRE CONDUIT (WHERE SPECIFIED).
  - CLEAN BACKFILL PER THE SPECIFICATIONS, TYPICAL.
  - FOR PIPE, SLEEVE AND WIRE BURIAL DEPTHS, REFER TO IRRIGATION LEGEND AND SPECIFICATIONS.
  - PROVIDE A CLEAN SOIL BED FOR PIPE, FREE OF ROCKS.
  - TRENCH BOTTOM OF UNDISTURBED SOIL.
  - WHERE BORING UNDER EXISTING PAVEMENT IS REQUIRED - REFER TO DRAWINGS FOR SPECIFIC INFORMATION.
  - PAVEMENT AND SUBGRADE
  - FINISH GRADE

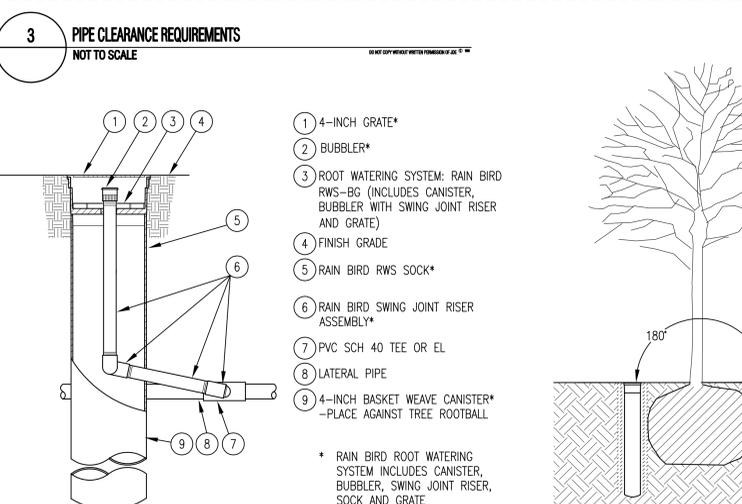
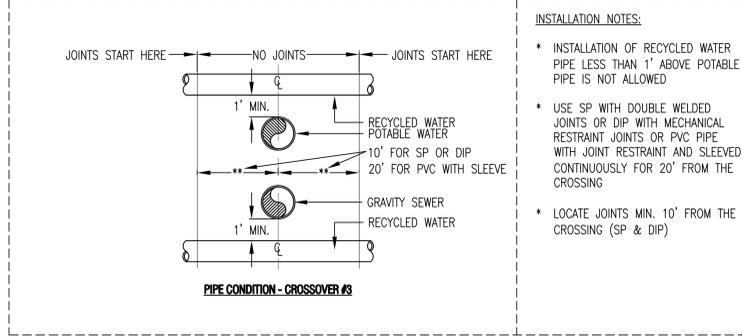
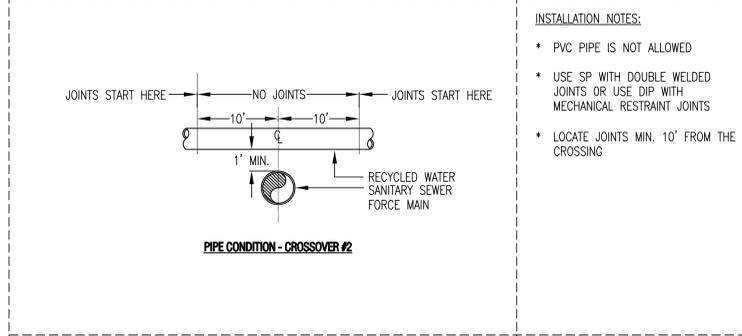
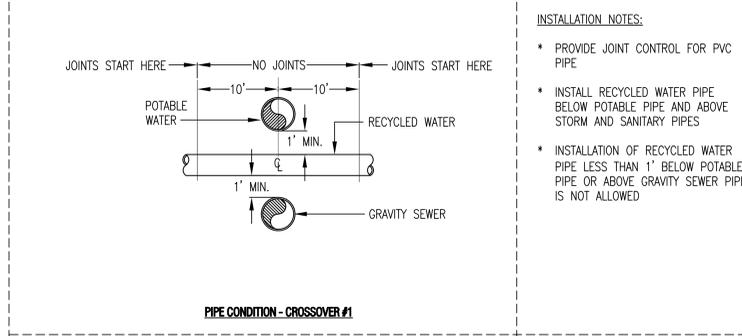
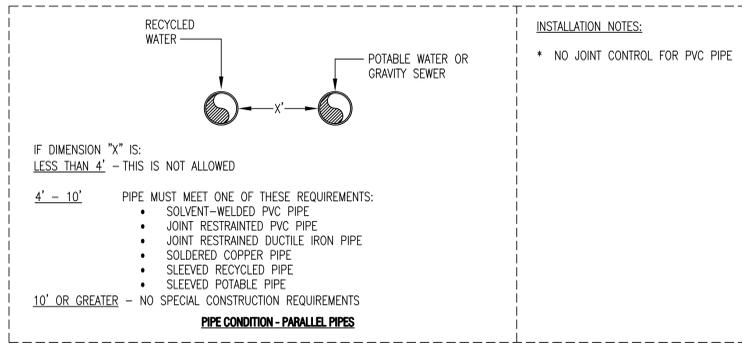
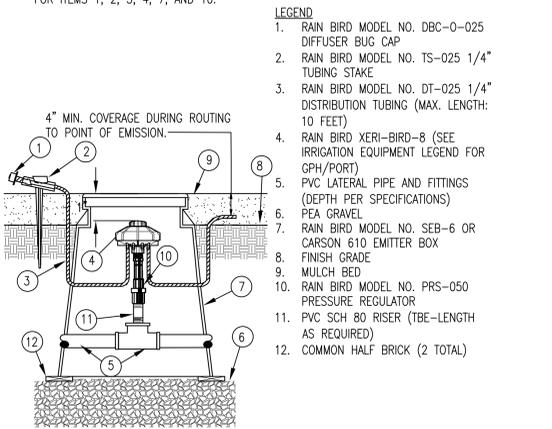


- RECYCLED WATER ITEMS:**
- R1. TOP OF HEADS MUST CLEARLY INDICATE THE USE OF RECYCLED WATER.
- INSTALLATION NOTES:**
- INSTALL TOP OF HEAD 1" ABOVE FINISH GRADE IN SHRUB AREAS. SIDE INLET USE IS NOT PERMITTED.
  - DIMENSION "A":** INSTALL HEAD 24" FROM NON-PERMEABLE SURFACES
  - INSTALL HEAD PERPENDICULAR TO FINISHED GRADE.
  - PRIOR TO NOZZLE INSTALLATION, FLUSH HEAD WITH WATER USING MANUFACTURER'S FLUSH NOZZLE TO ELIMINATE DEBRIS FROM WITHIN HEAD AND RISER.
  - INSTALL NOZZLE SCREEN. INSTALL NOZZLE, HAND TIGHT. RATCHET POP-UP RISER AND ADJUST VARIABLE ARC NOZZLES SO NOZZLE SPRAY IS WITHIN PLANTED AREA. NO OVERSPRAY ON WINDOWS, BUILDINGS, STREETS OR PAVEMENT.



- LEGEND:**
- SLEEVE:** 1120-SCHEDULE 40 OR CLASS 200 PSI PVC PLASTIC PIPE WITH SCHEDULE 40 PVC COUPLINGS AS REQUIRED. SELECT PVC SLEEVE MATERIAL WITH THE THICKEST WALL DIMENSION. 18" UNDER PEDESTRIAN PAVEMENT; 24" COVER MINIMUM - 36" MAXIMUM (SEE LEGEND) UNDER VEHICULAR PAVEMENT, MEASURED FROM TOP OF SLEEVE TO TOP OF BASE ROCK. PROVIDE SOLVENT WELDED AND WATERTIGHT JOINTS.
- CONDUIT:** 1120-SCHEDULE 40 PVC GREY ELECTRICAL CONDUIT WITH SCHEDULE 40 PVC GREY COUPLINGS AS REQUIRED. 18" UNDER PEDESTRIAN PAVEMENT; 24" COVER MINIMUM - 36" MAXIMUM (SEE LEGEND) UNDER VEHICULAR PAVEMENT, MEASURED FROM TOP OF SLEEVE TO TOP OF BASE ROCK. PROVIDE SOLVENT WELDED AND WATERTIGHT JOINTS.
- SLEEVING AND CONDUIT INSTALLATION NOTES:**
- INSTALL SLEEVE AND CONDUIT STRAIGHT AND LEVEL.
  - EXTEND SLEEVE AND CONDUIT 24" BEYOND INSIDE FACE OF CURB OR EDGE OF PAVED SURFACE.
  - PROVIDE BED FOR SLEEVE AND CONDUIT, SMOOTH AND FREE OF LARGE ROCKS OR ABRASIVE OBJECTS.
  - IF SLEEVE LENGTH IS GREATER THAN 17': INSTALLATION OF MULTIPLE PIPES BY SLIDING THEM THROUGH THE SLEEVE MAY BE HINDERED BY PIPE COUPLINGS. INSTALL MULTIPLE PIPES WITHIN THE SLEEVE DURING THE SLEEVE INSTALLATION AND CONNECT PIPING AT A LATER TIME DURING CONSTRUCTION.
  - INSTALL A NYLON ROPE PULL CORD INSIDE CONDUIT FROM END TO END FOR LOW VOLTAGE WIRE PULL.
  - MECHANICALLY TAMP BACKFILL TO 95% COMPACTION. PROVIDE COMPACTION OF SOIL OVER SLEEVE AND CONDUIT IN A MANNER TO PREVENT COLLAPSE OF SLEEVE OR CONDUIT.
  - INSTALL SCHEDULE 40 PVC CAPS AT ENDS OF SLEEVE OR CONDUIT TO PREVENT ENTRANCE OF DEBRIS INTO SLEEVE. DO NOT GLUE THE CAP.
  - IF PIPING IS TO BE INSTALLED AFTER SLEEVING IS BACKFILLED, MARK SLEEVE LOCATION WITH A FIBERGLASS COMPOSITE MARKING POST LABELED "IRRIGATION", EXPOSED AT GRADE, T. CHRISTY ENTERPRISES MODEL #10-SF66-IRR. PROVIDE STAKES AT ENDS OF SLEEVE.
  - SEAL ENDS OF SLEEVE AND CONDUIT WITH GROUT TO PREVENT ROOT INTRUSION IN THE SLEEVE. CONDUIT SHALL BE REQUIRED FOR LOW VOLTAGE WIRE INSTALLED UNDER PAVEMENT. REFER TO CHART BELOW.

LOW VOLTAGE WIRE CONDUIT SIZING CHART				
PVC ELECTRICAL CONDUIT DIAMETER	2" MIN.	2-1/2"	3"	4"
ALLOWABLE NUMBER OF AWG-UF WIRES IN CONDUIT	0-16	17-24	25-40	41-48



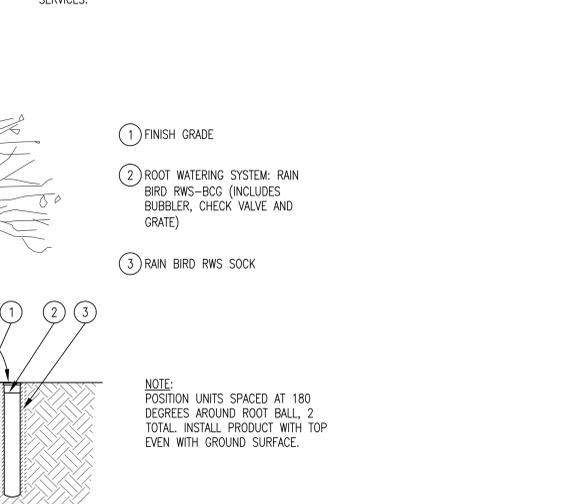
**JDE**

JAMES D. EDDY ASSOCIATES  
LANDSCAPE IRRIGATION ENGINEERS  
P.O. BOX 22971  
DANVILLE, CALIFORNIA 94526  
P: (925) 867-3339  
F: (925) 867-3339  
EMAIL: JDE@EDDYASSOCIATES.COM  
PLANNING-DESIGN-MANAGEMENT  
JDE PROJECT NO: 13034

- SEPARATION STANDARDS**
- PARALLEL CONSTRUCTION**
- WHEN THE RECYCLED WATER MAIN LINE PIPE IS AT LEAST 10 FEET (MEASURED FROM EDGE OF PIPE TO EDGE OF OTHER PIPE) FROM POTABLE WATER, SANITARY SEWER MAINS OR STORM DRAINS, INSTALL THE RECYCLED WATER MAIN LINE PIPE USING THE SPECIFIED PVC PIPE, WITHOUT CONCERN WHERE PIPE JOINTS ARE LOCATED.
  - WHEN THE RECYCLED WATER MAIN LINE PIPE IS LOCATED NEAR A SEWER FORCE MAIN, INSTALL THE RECYCLED WATER MAIN LINE PIPE MAINTAINING THE 10 FOOT MINIMUM SEPARATION REQUIREMENT AND INSTALL STEEL PIPE (SP) WITH DOUBLE WELDED JOINTS OR DUCTILE IRON PIPE (DIP) WITH MECHANICALLY RESTRAINED JOINTS INSTEAD OF THE PVC PIPE AS SPECIFIED.
- CROSSING CONSTRUCTION**
- REFER TO CROSSOVER #1 DETAIL: WHERE THE RECYCLED WATER MAIN LINE PIPE IS INSTALLED ABOVE OR BELOW UNDERGROUND UTILITY PIPE OR CONDUIT, LOCATE THE RECYCLED WATER MAIN LINE PIPE JOINTS AT LEAST 5 FEET FROM THE UTILITY PIPE OR CONDUIT, MEASURED FROM THE CENTERLINE OF THE UTILITY PIPE OR CONDUIT AND TO THE JOINT. UTILITY LINES MAY BE:
    - POTABLE WATER PIPE
    - SANITARY SEWER PIPE
    - STORM DRAIN PIPE
    - NATURAL GAS PIPE
    - ELECTRICAL DUCTS
 PVC PIPE IS ACCEPTABLE FOR USE IN THIS SITUATION.
  - REFER TO CROSSOVER #2 DETAIL: WHEN CROSSING A SANITARY SEWER FORCE MAIN, LOCATE THE RECYCLED WATER MAIN LINE PIPE AT LEAST 1 FOOT ABOVE THE FORCE MAIN. INSTALL STEEL PIPE WITH DOUBLE WELDED JOINTS OR DUCTILE IRON PIPE WITH MECHANICALLY RESTRAINED JOINTS. LOCATE THE RECYCLED WATER PIPE JOINTS 10 FEET OR MORE AWAY FROM THE CENTERLINE OF THE SANITARY SEWER FORCE MAIN.
  - REFER TO CROSSOVER #3 DETAIL: WHEN THE RECYCLED WATER MAIN LINE PIPE IS 1 FOOT ABOVE THE POTABLE WATER PIPE AND/OR 1 FOOT BELOW THE SANITARY SEWER MAIN, INSTALL STEEL PIPE WITH DOUBLE WELDED JOINTS OR DUCTILE IRON PIPE WITH MECHANICALLY RESTRAINED JOINTS. LOCATE THE JOINTS 10 FEET OR MORE AWAY FROM THE CENTERLINE OF THE SANITARY SEWER PIPES OR WATER PIPES. PVC CAN BE USED FOR THE RECYCLED WATER MAIN LINE PIPE AT THE CROSSING; INSTALL JOINT RESTRAINT DEVICES ON THE JOINTS AND A CONTINUOUS PVC SLEEVE FOR A DISTANCE OF 20 FEET ON EITHER SIDE OF THE CROSSING.

- INSTALLATION NOTES:**
- NO JOINT CONTROL FOR PVC PIPE
- INSTALLATION NOTES:**
- PROVIDE JOINT CONTROL FOR PVC PIPE
  - INSTALL RECYCLED WATER PIPE BELOW POTABLE PIPE AND ABOVE STORM AND SANITARY PIPES
  - INSTALLATION OF RECYCLED WATER PIPE LESS THAN 1' BELOW POTABLE PIPE OR ABOVE GRAVITY SEWER PIPE IS NOT ALLOWED
- INSTALLATION NOTES:**
- PVC PIPE IS NOT ALLOWED
  - USE SP WITH DOUBLE WELDED JOINTS OR USE DIP WITH MECHANICAL RESTRAINT JOINTS
  - LOCATE JOINTS MIN. 10' FROM THE CROSSING
- INSTALLATION NOTES:**
- INSTALLATION OF RECYCLED WATER PIPE LESS THAN 1' ABOVE POTABLE PIPE IS NOT ALLOWED
  - USE SP WITH DOUBLE WELDED JOINTS OR DIP WITH MECHANICAL RESTRAINT JOINTS OR PVC PIPE WITH JOINT RESTRAINT AND SLEEVED CONTINUOUSLY FOR 20' FROM THE CROSSING
  - LOCATE JOINTS MIN. 10' FROM THE CROSSING (SP & DIP)

- GENERAL NOTES**
- ALL STEEL PIPE USED FOR RECYCLED WATER MAIN LINE PIPE SHALL MEET A MINIMUM INTERNAL PRESSURE OF 200 PSI. NO MINIMUM PIPE WALL THICKNESS IS REQUIRED.
  - ALL DUCTILE IRON PIPE USED FOR RECYCLED WATER MAIN LINE PIPE SHALL MEET A MINIMUM INTERNAL PRESSURE OF 200 PSI. NO MINIMUM PIPE WALL THICKNESS IS REQUIRED.
  - DIP PIPE: CEMENT LINED DUCTILE IRON PIPE WITH PUSH-ON JOINTS CONFORMING TO AWWA C151. THE PUSH-ON JOINT PIPE DIMENSIONS AND WEIGHTS SHALL CONFORM TO THICKNESS CLASS 52 AS SHOWN ON TABLE 51.6: DIMENSIONS AND WEIGHTS FOR SPECIAL CLASSES OF PUSH-ON JOINT DUCTILE IRON PIPE OF THE AWWA C151 STANDARD.
  - SP PIPE:
  - ALL PVC PIPE USED FOR RECYCLED WATER MAIN LINE PIPE SHALL BE AS SPECIFIED IN THE IRRIGATION LEGEND.
  - PROPER CORROSION PROTECTION TO PIPING IS REQUIRED. THIS INCLUDES BUT IS NOT LIMITED TO OUTSIDE COATING, INSIDE LINING, DIELECTRIC TREATMENT, AND OTHER CATHODIC PROTECTION.
  - ANY EXCEPTIONS TO THE REQUIREMENTS OF THIS DETAIL WILL REQUIRE SPECIAL REVIEW AND AN APPROVAL GRANTED BY THE CALIFORNIA DEPARTMENT OF HEALTH SERVICES.



**fuse architects inc.**  
411 capitol ave.  
capitola, CA, 95010  
831.479.9295  
www.fusearchitect.com

**JONI L. JANECKI & ASSOCIATES**  
515 SWIFT ST. SANTA CRUZ, CA 95060  
PHONE: 831-423-8000 FAX: 831-423-8008  
EMAIL: JLJ@JLJ.COM | WWW.JLJ.COM  
California Landscape Architect License 5192

**REVISIONS**

MARK	DATE	DESCRIPTION

**THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS**

APN: 031-251-018

Marina Building (P.N. 596-2275)  
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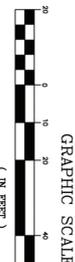
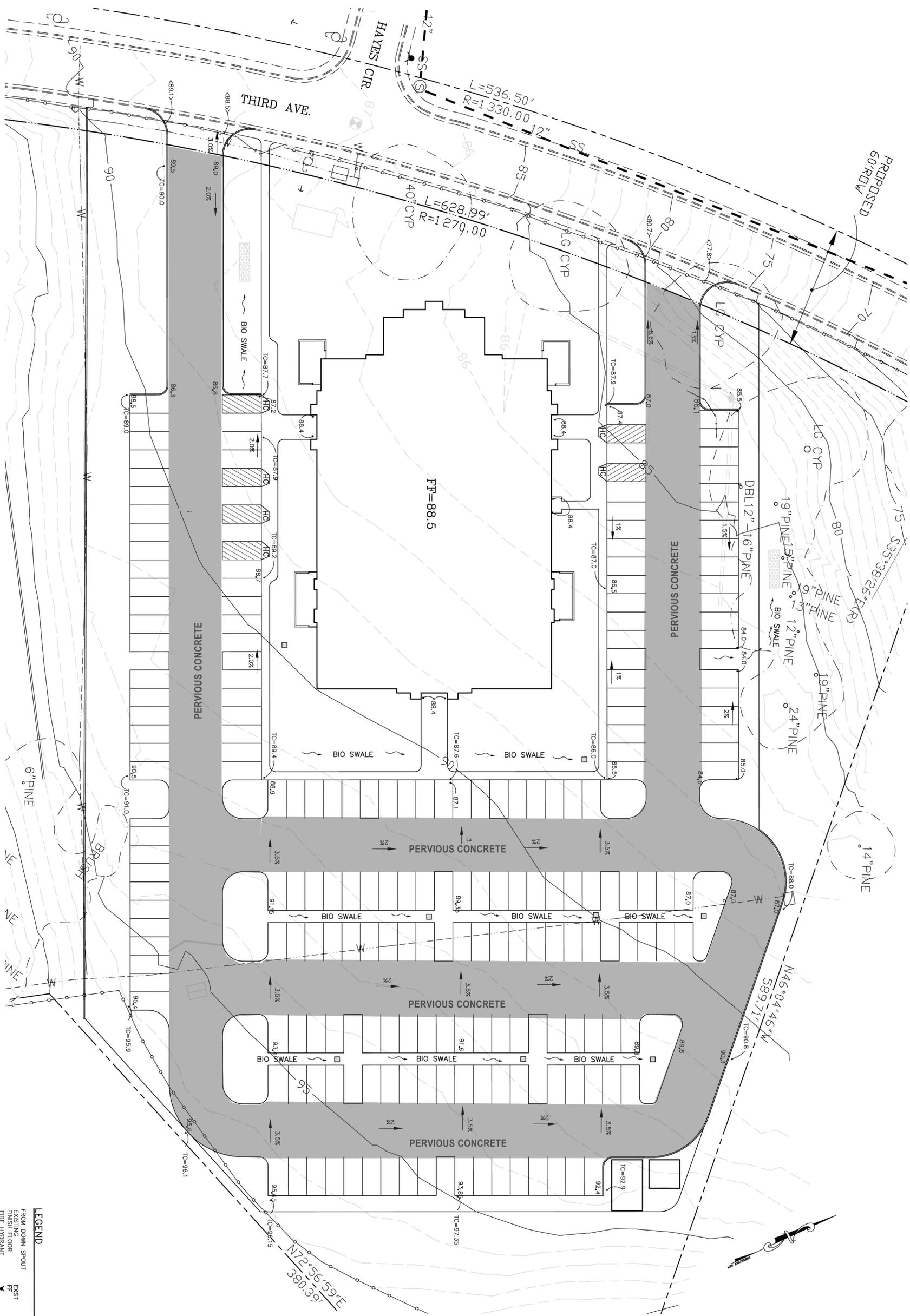
PROJECT #: 13-300  
SCALE: AS NOTED  
DATE: DECEMBER 16, 2013

**APPROVALS**

DESIGNED BY:	JDE
DRAWN BY:	ST
CHECKED BY:	

**SHEET TITLE**  
IRRIGATION DETAILS

**SHEET NUMBER**  
**L3.4**



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES



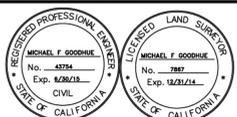
SHEET NAME:

DRAWING NAME:

- LEGEND**
- FROM DOWN SPOUT
  - EXISTING FINISH FLOOR
  - FINE HYDRANT
  - NEW TOP OF WALL
  - NEW FINISH GRADE
  - EXIST. GRADE
  - INFILTRATION TRENCH
  - INSTALL DRAIN INLET
  - PROPERTY LINE
  - EXIST. ELEVATION
  - CONTOUR (2' INTERVAL)
  - EXIST. ELEVATION
  - CONTOUR (10' INTERVAL)
  - GRADE
  - DRAIN
  - EXIST. SANITARY SEWER LINE
  - SEWER MANHOLE

A PORTION OF APN 031-251-018  
**PRELIMINARY GRADING PLAN**  
 PROPOSED LDS MEETING HOUSE

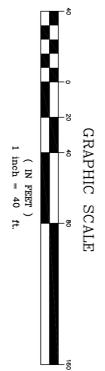
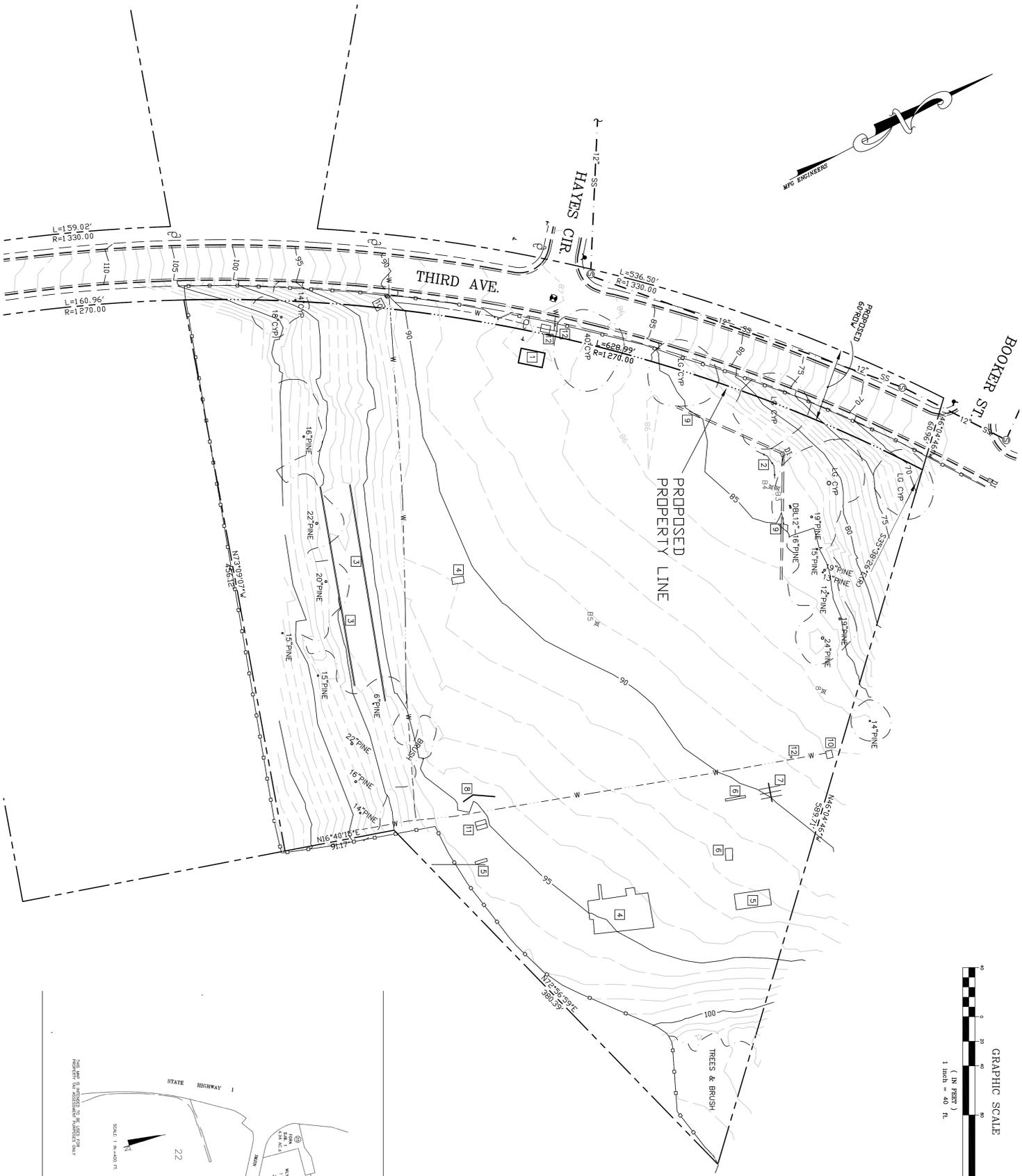
**PROJECT ENGINEER**  
 MICHAEL F. GOODHUE, P.E., L.S.  
 PO BOX 1914  
 APTOS, CA. 95001  
 (831) 763-1661  
 CEL (831) 601-9519



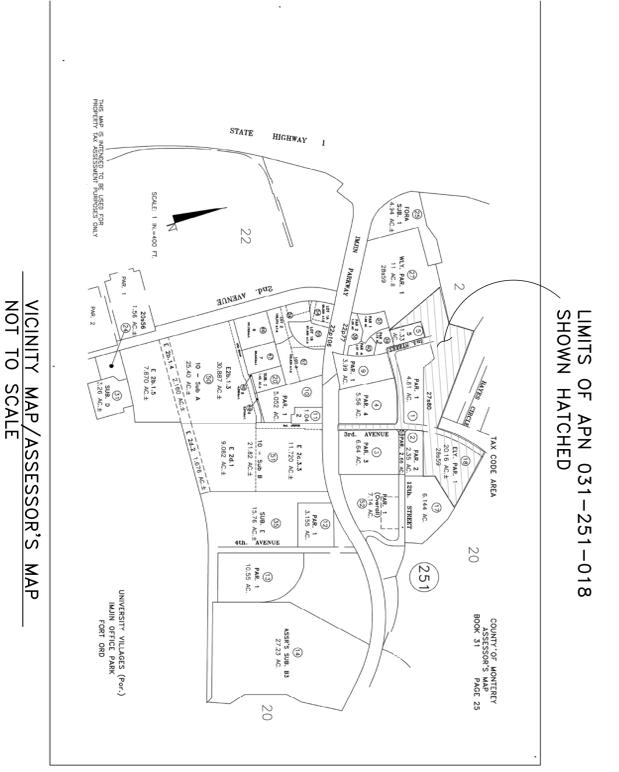
DATE	REVISION	BY
12/11/13	1 ADDED EXST SANITARY SEWER LINE	MFG

SHEET  
**C2 of 2**

JOB NO.  
 DATE: 11/2013  
 CHECKED: MFG  
 DRAWN: MFG  
 SCALE: 1" = 20'



- LEGEND**
- ⊕ BENCH MARK (SET NAIL AND SHINER)  
EL.=87.2'
  - GUY
  - LULY POLE
  - STUMP DRAIN INLET
  - POSSIBLE BORING LOCATION (FOUND FLAG)
  - GATE
  - CYPRESS TREE
  - CYPRESS TREE
  - LARGE SANITARY SEWER MANHOLE
  - SANITARY SEWER (12" - SS)
  - LG
  - CYP
  - PROPERTY
  - LINE
  - UNDERPROPOSED UNDERGROUND
  - WATER LINE
  - ELEVATION (5' INTERVAL)
  - ELEVATION (1' INTERVAL)
  - CHAIN LINK
  - CORNER GUTTER & SIDEWALK
- NOTES**
1. TOPOGRAPHIC FIELD DATA COLLECTED ON 7/13/13
  2. ELEVATION DATUM IS ASSUMED. BENCH MARK IS A NAIL AND SHINER SET IN 3rd AV  
ELEVATION = 87.2'
- EXISTING FEATURE NOTES**
- 1 REST ROOMS
  - 2 BASEBALL BACK STOP
  - 3 WOOD RETAINING WALL (HEIGHT VARIES 0' TO 3')
  - 4 PLAY STRUCTURE
  - 5 SWINGS
  - 6 CLIMBING STRUCTURE
  - 7 TEETER TOTTER
  - 8 5' HIGH WOOD WALL (MADE WITH VERTICAL 6X6)
  - 9 ASPHALT BERM
  - 10 WATER SYSTEM PRESSURE RELIEF VALVE
  - 11 BRICK 880 (3.5'X8.8'X2.4') W/ADJOINING CONCRETE SLAB ON GRADE
  - 12 WATER VALVE BOX BOX



FOR REDUCED PLANS  
ORIGINAL SCALE IN INCHES



SHEET NAME: DRAWING NAME:

APN 031-251-018 (PARTIAL TOP)	PROJECT ENGINEER MICHAEL F. GOODHUE, P.E., L.S. PO BOX 1914 APTOS, CA. 95001 (831) 763-1661 CEL (831) 601-9519	DATE 12/11/13	REVISION 1 ADDED SANITARY LINE & REVISED EXISTING FEATURE NOTES 10 & 11	BY MFG
TOPOGRAPHIC MAP PROPOSED LDS MEETING HOUSE				
DRAWN: MFG				
CHECKED: MFG				
DATE: 7/13				
SCALE: 1" = 40'				
JOB NO.				
SHEET C1 of 2				