



## AGENDA

Thursday, May 28, 2015

6:30 P.M.

### REGULAR MEETING PLANNING COMMISSION

Council Chambers  
211 Hillcrest Avenue  
Marina, California

### VISION STATEMENT

Marina will grow and mature from a small town bedroom community to a small city which is diversified, vibrant and through positive relationships with regional agencies, self-sufficient. The City will develop in a way that insulates it from the negative impacts of urban sprawl to become a desirable residential and business community in a natural setting. **(Resolution No. 2006-112 - May 2, 2006)**

### MISSION STATEMENT

The City Council will provide the leadership in protecting Marina's natural setting while developing the City in a way that provides a balance of housing, jobs and business opportunities that will result in a community characterized by a desirable quality of life, including recreation and cultural opportunities, a safe environment and an economic viability that supports a high level of municipal services and infrastructure. **(Resolution No. 2006-112 - May 2, 2006)**

1. CALL TO ORDER 
2. ROLL CALL & ESTABLISHMENT OF QUORUM (Planning Commission Members)  
David Burnett, Margaret Davis, Eugene Doherty, Tim Ledesma, Virgil Piper, Ken Turgen
3. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE (Please stand)
4. SPECIAL ANNOUNCEMENTS AND COMMUNICATIONS FROM THE FLOOR:  
*Announcements of special events or meeting of interest as information to Board and Public. At this time any person may comment on any item, which is not on the agenda. Please state your name and address for the record. Action will not be taken on an item that is not on the agenda. If it requires action, it will be referred to staff and/or placed on the next agenda. Planning Commission members or City staff may briefly respond to statements made or questions posed as permitted by Government Code Section 54954.2. In order that all interested parties have an opportunity to speak, please limit comments to a maximum of Four (4) minutes. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the Planning Commission.*

5. CONSENT AGENDA: *Background information has been provided to the Planning Commission on all matters listed under the Consent Agenda, and these items are considered to be routine. All items under the Consent Agenda are normally approved by one motion. If discussion is requested by anyone on any item, that item will be removed from the Consent Agenda and placed at the end of Other Action Items if separate action is requested.*

a. Minutes for the November 13, 2014 Planning Commission meeting

6. PUBLIC HEARINGS: *Time will be set aside during the Public Hearing to receive oral comments on all items listed as Public Hearings. Staff will present the project brought forth for Planning Commission consideration and possible action and answer questions from the Planning Commissioners. The applicant will then have the opportunity to raise any issues. The public will then be invited to approach the podium to provide up to four (4) minutes of public testimony.*

It is requested that the Planning Commission:

a. Open a public hearing, take any testimony from the public, and consider:

1. Adopting Resolution No. 2015- , recommending that City Council consider GP 2015-01, approving a text amendment to General Plan Policy 2.57 and Table 2.4 to remove the minimum Floor Area Ratio (FAR) for projects within areas designated “Multiple Use” on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, to provide flexibility to be less than 0.25 FAR, and;

2. Resolution No. 2015- , recommending that City Council consider DR 2015-03, allowing up to ±30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay (formerly University Villages) Specific Plan area (APNs 031-282-024 through -027, formerly the northern portion of APN 031-282-012), subject to conditions.

7. OTHER ACTION ITEMS: *Action listed for each Agenda item is that which is brought forth for Planning Commission consideration and possible action. The Planning Commission may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*

a. None

8. COMMISSIONERS AND STAFF INFORMATIONAL REPORTS:

- a. City Council, Design Review Board, Tree Committee and other meetings of note.
- b. Upcoming items scheduled for future meetings.
- c. Ad Hoc Committee

9. CORRESPONDENCE:

a. None

10. ADJOURNMENT

## CERTIFICATION

I, Judy Paterson, Administrative Assistant for the City of Marina, do hereby certify that a copy of the foregoing agenda was posted at Marina City Council Chambers bulletin board, 211 Hillcrest Avenue; City Kiosk at the corner of Del Monte Boulevard and Reservation Road; and Monterey County Free Library Marina Branch at 190 Seaside Circle on or before 6:30 p.m. Monday, May 25, 2015.

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Judy Paterson, Administrative Assistant II  
Planning Services Division  
Community Development Department

### PLANNING COMMISSION NOTES:

1. The Marina Planning Commission regularly meets at 6:30 P.M. on the second and fourth Thursdays of each month.
2. The Planning Commission follows procedures intended to allow for project applicants and members of the public the fullest possible opportunity to be heard, while enabling the Commission to complete its meetings within a reasonable time.
3. Copies of staff reports are available to the public on the Friday afternoon, prior to the Thursday meetings at the Community Development Department office located at 209 Cypress Avenue.
4. Planning Commission subcommittees include the Marina Design Review Board (DRB) and Tree Committee. The DRB regularly meets at 6:30 P.M. on the third Wednesday of each month and the Tree Committee meets quarterly on the 2<sup>nd</sup> Wednesday of January, April, July and October... All meetings take place in the Council Chambers unless otherwise noticed... Public notices and agendas are posted at the following locations: Monterey County Library Marina Branch, Kiosk at the corner of Del Monte Blvd. and Reservation Rd., and Marina City Council Chambers Bulletin Board.
5. The public is invited and encouraged to participate in all meetings of the Planning Commission and its subcommittees.
6. **ALL MEETINGS ARE OPEN TO THE PUBLIC. THE CITY OF MARINA DOES NOT DISCRIMINATE AGAINST PERSONS WITH DISABILITIES.** Council Chambers are wheelchair accessible. Meetings are broadcast on cable channel 25 and recordings of meetings can be provided upon request. To request assistive listening devices, sign language interpreters, readers, large print agendas or other accommodations, please call (831) 884-1278 or e-mail: [marina@ci.marina.ca.us](mailto:marina@ci.marina.ca.us). Requests must be made at least **48 hours** in advance of the meeting.

## MINUTES

Thursday, November 13, 2014

6:30 P.M.

### REGULAR MEETING PLANNING COMMISSION

Council Chambers  
211 Hillcrest Avenue  
Marina, California

1. CALL TO ORDER

Chair Burnett called the meeting to order at 6:35 p.m.

2. ROLL CALL & ESTABLISHMENT OF QUORUM (Planning Commission Members)

David Burnett, Margaret Davis, Eugene Doherty, Greg Furey, Tim Ledesma, Virgil Piper

Members Absent: Ken Turgen (Excused)

3. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE

4. SPECIAL ANNOUNCEMENTS AND COMMUNICATIONS FROM THE FLOOR:

Margaret Davis thanked the City of Marina for their support of the recent Friends of the Fort Ord Warhorse (5th Annual Veterans Day Celebration on Nov. 8th) event that honored military veterans and focused on the Viet Nam era.

Gene Dougherty invited the public to the "Santa Paws" event on the upcoming weekend at the Del Monte Shopping Center in Monterey where a photo CD with Santa will be provided to attendees.

Chair Burnett congratulated those who ran for office, whether winners or losers.

Tim Ledesma thanked everyone for removing campaign signs but noted there were a few large signs still in place.

Resident Tom Bolea announced he would be conducting a tour of a property at 225 Carmel Ave. on Tuesday, Nov. 18, 2014 at 3pm. In attendance would be FORA

representatives and anyone interested from the public. Emphasis will be on the historical use of the property.

5. CONSENT AGENDA:

- a. Minutes for the August 28 and October 23, 2014 Planning Commission meetings

Commissioner Piper made a motion to approve the minutes of August 28. The motion was seconded by Commissioner Davis and passed by a 6-0-1(Turgen)-0 vote.

Commissioner Doherty made a motion to approve the minutes of October 23. The motion was seconded by Commissioner Piper and passed by a 6-0-1(Turgen)-0 vote.

6. PUBLIC HEARINGS:

It is requested that the Planning Commission:

- a. Open a public hearing, take any testimony from the public, and consider:
  - 1. Resolution No. 2014- , approving Site and Architectural Design Review DR 2014-03 for the Site Plan, Landscape Plan and Exterior Elevation Modifications, including a 188 square-foot expansion to the existing 1,448 square-foot building, for the site and a convenience store located at 3044 Del Monte Boulevard (APN 032-312-043), and;
  - 2. Resolution No. 2014- , approving Conditional Use Permit UP 2014-06 to allow for the off-sale of beer, wine and liquor in the modified convenience store, for the above-noted project site, subject to conditions.

This item was withdrawn by the applicant for the Conditional Use Permit. The design approval will go back the Design Review Board. No action was taken.

- b. (Continued from October 23, 2014)
  - 1. Adopting Resolution No. 2014- , approving Conditional Use Permit UP 2014-10 for a Type 48 (On-Sale General for Public Premises) Alcoholic Beverage Control Liquor License, for a four story, ±69,578 square foot hotel with 106 hotel units, including a ±1,750 square foot meeting room and a bar, on a ±2.62 acre project site (APN's 031-251-046 & 031-251-047), located within the Dunes on Monterey Bay Specific Plan area, subject to conditions, and;
  - 2. Adopting Resolution No. 2014- , making a determination that the above-noted project is consistent with the Fort Ord Base Reuse Plan.

Ms. Szymanis gave a staff report.

She noted that the review of the proposed hotel bar by the Police Chief had resulted in a draft resolution conditioned to reduce the requested hours of operation from 11 A.M. to 2:00 A.M., to 11:00 A.M. to Midnight daily. In addition, a condition to both prevent incidents and provide high technology surveillance cameras to aid the Police Department was added.

Ms. Szymanis further noted a correction to the resolution for the Conditional Use Permit and Consistency Determination contained an additional assessor parcel number that did not pertain to the request and that she would strike APN 032-251-047 from the documents. She also noted a typographical error in the numbering of the conditions of approval needed to be corrected. The second set of numbers beginning with '6' should actually be '9' through '13.'

The public hearing was opened.

Tom Bolea, Marina resident, expressed a concern about alcohol sales at the Marriott Hotel.

Mary Ann Leffel, Monterey Business Council, spoke in support of the project.

Harbhajan Dadwal, applicant, addressed the commission. He expressed concerns with certain conditions of approval after meeting with Chief Rodriguez including hours of operation, the requirement for all employees to take the ABC 3 hour training for alcohol service rather than just managers or supervisors, and the 30 day requirement for video recording retention.

The public hearing was closed.

Commissioner Piper commented that he felt that the ABC rules already addressed issues in the conditions and that the city should not dictate how a business operates under a permitted license. He further commented that only supervisors should be required to take the 3 hour alcohol training class. He also expressed a concern about restricting operating hours.

Commissioner Ledesma made a motion to adopt the resolutions with the modifications listed above. The motion was seconded by Chair Burnett and passed by a 3-2(Piper, Davis)-1(Furey)-1(Turgen) vote.

- c. (Continued from October 23, 2014)
  - 1. Consider adopting Resolution No. 2014 - , approving Conditional Use Permit (UP 2014-08) to allow application for a Type 20 (Off-sale Beer and Wine) Alcohol Beverage Control Liquor License for the ±1,200 square-foot convenience store located at 416 Reservation Road (APN 032-152-046) in the Retail Business (C-1) Zoning District, subject to conditions.

Mr. Meek gave a staff report.

Sarah Wong, General Manager, addressed the Commission and expressed her agreement with the conditions of approval for the Use Permit.

The public hearing was opened for comment. Hearing none, the public hearing was closed.

Chair Burnet and Commissioner Davis expressed their concerns for the overconcentration of businesses selling alcohol in Marina.

Commissioner Ledesma made a motion to adopt the resolution approving a Conditional Use Permit for the sale of beer and wine. The motion was seconded by Commissioner Piper and passed by a 4-2(Burnett, Davis)-0-1(Turgen) vote.

7. OTHER ACTION ITEMS:

- a. None

8. COMMISSIONERS AND STAFF INFORMATIONAL REPORTS:

- a. City Council, Design Review Board, Tree Committee and other meetings of note.
- b. Upcoming items scheduled for future meetings.
- c. Ad Hoc Committee

9. CORRESPONDENCE:

- a. None

10. ADJOURNMENT

The meeting was adjourned at 8:15 p.m.

ATTEST:

\_\_\_\_\_  
David Burnett, Chair

\_\_\_\_\_  
Judy Paterson, Admin. Assistant II

\_\_\_\_\_  
DATE

May 21, 2015

Item No:

Honorable Chair and Members  
Of the Marina Planning Commission

Planning Commission Meeting  
of May 28, 2015

**REQUEST TO OPEN A PUBLIC HEARING, TAKE ANY TESTIMONY FROM THE PUBLIC AND CONSIDER ADOPTING RESOLUTIONS RECOMMENDING THAT CITY COUNCIL CONSIDER: (1) GP 2015-01, APPROVING A TEXT AMENDMENT TO GENERAL PLAN POLICY 2.57 AND TABLE 2.4 TO REMOVE THE MINIMUM FLOOR AREA RATIO (FAR) FOR PROJECTS WITHIN AREAS DESIGNATED "MULTIPLE USE" ON THE GENERAL PLAN LAND USE MAP AND LOCATED WITHIN MULTIPLE USE DESIGNATED AREAS IN EXISTING AND SUBSEQUENT SPECIFIC PLANS, TO PROVIDE FLEXIBILITY TO BE LESS THAN 0.25 FAR, AND; (2) DR 2015-03, ALLOWING UP TO ±30,994 SQUARE-FEET OF NEW BUILDINGS ON UP TO FOUR DEVELOPMENT PADS LOCATED ON A ±3.7 ACRE SITE WITHIN THE DUNES ON MONTEREY BAY (FORMERLY UNIVERSITY VILLAGES) SPECIFIC PLAN AREA (APNS 031-282-024 THROUGH -027, FORMERLY THE NORTHERN PORTION OF APN 031-282-012), SUBJECT TO CONDITIONS**

**REQUEST:**

It is requested that the Planning Commission:

1. Open a public hearing, take any testimony from the public, and consider:
2. Adopting Resolution No. 2015- , recommending that City Council consider GP 2015-01, approving a text amendment to General Plan Policy 2.57 and Table 2.4 to remove the minimum Floor Area Ratio (FAR) for projects within areas designated "Multiple Use" on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, to provide flexibility to be less than 0.25 FAR, and;
3. Adopting Resolution No. 2015 - , recommending that City Council consider DR 2015-03, allowing up to ±30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay (formerly University Villages) Specific Plan area (APNs 031-282-024 through -027, formerly the northern portion of APN 031-282-012), subject to conditions.

**BACKGROUND:**

The subject property is located within the Dunes on Monterey Bay Specific Plan area. The site is in-between the Dunes on Monterey Bay Shopping Center and the planned Village Promenade, and is bounded by 2nd Avenue to the east, General Stillwell Drive to the north and west, and an unnamed access road to the south (APNs 031-282-024 through -027, formerly the northern portion of APN 031-282-012). The site is approximately 280 feet in width and 630 feet in length on ±3.7 acres. There are several documents governing land development on this site. These include the City of Marina

entitlements, the Shopping Center's Operation and Easement Agreement and the Best Buy lease terms, described as follows in chronological order of effective date.

### City of Marina Entitlements

At a special meeting of May 31, 2005, the Marina City Council adopted the following Resolutions:

- Resolution No. 2005-127 certifying the final Environmental Impact Report (EIR) (SCH No. 2004091167) for the Dunes on Monterey Bay Specific Plan project in accordance with the California Environmental Quality Act (CEQA) and state and local guidelines;
- Resolution No. 2005-130 approving the Dunes on Monterey Bay Specific Plan containing planning principles, development standards and design guidelines for the redevelopment of 420 acres within South Marina;
- Resolution No. 2005-131 approving the University Village Tentative Map. The Tentative Map Conditions of Approval are intended to assure the timely provision of adequate infrastructure and services, including but not limited to water supplies, sewer, stormwater drainage, and streets, including pedestrian and bicycle access;
- Resolution No. 2005-132 approving site plans, landscaping and lighting plans, building elevations, and sign programs for the Regional Retail and Village Promenade project components; and
- Resolution No. 2005-134 finding that the legislative land use approval for the Dunes on Monterey Bay Specific Plan project is consistent with the Fort Ord Reuse Plan.

### Operation and Easement Agreement

On February 16, 2007, an Operation and Easement Agreement (OEA) for the Shopping Center was executed and recorded by Target Corporation, Shea Marina Village, LLC and Marina Community Partners (Series No. 2007-14247 of Official Records, Monterey County). The OEA established a non-exclusive easement for passage and parking of vehicles over and across the parking and driveway areas, including the subject site which is referred to as "MCP Tract Phase B2." The OEA also states "...the parking area on the Target Tract, the Kohl's Tract, the Developer Tract and Phase B2 shall contain sufficient ground level... parking spaces, without reliance on parking spaces that may be available on another portion of the Shopping Center..." (Article 3 Construction, Section 3.2.5, p. 17).

### Best Buy Lease Agreement

In 2007, Marina Community Partners entered into a lease agreement with Best Buy that limits the location, size and height of development on the subject property. In short, the Best Buy lease restricts the use of the subject property to not more than 21,000 square-feet of development on three-7,000 square-foot building pads, one of which, at the corner of 2nd Avenue and General Stillwell Drive, may be 22 feet in height and the other two, at either end of the unnamed access road, may be two-stories up to 40 feet in height. The Best Buy lease further indicates that any building or improvement shall have a "self-contained parking field..." as if it were a "...free-standing site without benefit of cross-parking rights as to the balance of the Shopping Center."

### Subsequent City of Marina Entitlements

At the regular meeting of October 21, 2008, the Marina City Council adopted Resolutions No. 2008-208 through 2008-210 taking the following actions: certifying an addendum to the EIR for The Dunes on Monterey Bay Project; approving an amendment to the University Village Tentative Map; and revising the site plan for Phase 1B and tenant sign criteria for retail Phases 1A and 1B for The Dunes on

Monterey Bay development, subject to conditions. The site plan modifications affected the Village Square, such as changing traffic around the square from one- to two-way. Two additional conditions were added to the amended Tentative Map resolution conditions of approval, one designating reciprocal parking in all non-residential areas on the Map and the other requiring a submittal parking demand management plan prior to issuance of any building permit.<sup>1,2</sup>

On November 1, 2012, a Parcel Map was recorded subdividing the subject site into four lots totaling ±160,679 square-feet. The Parcel Map states that the rights of ingress and egress and overall use of the subject property are governed by the aforementioned Shopping Center OEA.

On January 29, 2015, the applicant, Scott Negri, on behalf of SKN Properties, filed an application for Site and Architectural Design Review Board to review DR 2015-03, allowing up to ±30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area.

As described further in the consistency with the Marina General Plan section of this report, the project intensity does not fall within the acceptable range of the General Plan; therefore, a General Plan text amendment has been requested to remove the minimum FAR for projects within areas designated “Multiple Use” on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans.

At the special meeting of April 29, 2015, the Site and Architectural Design Review Board adopted Resolution 2015-01, recommending Planning Commission consideration of DR 2015-03, allowing up to ±30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area, subject to conditions.

## **ANALYSIS:**

### **CONSISTENCY WITH MARINA GENERAL PLAN**

The subject property is designated “Multiple Use” on the General Plan Land Use Map and is within the “Dunes on Monterey Bay Specific Plan” Zoning District with a Specific Plan land use of “Multiple Use.” The proposed retail and restaurant uses are permitted uses on properties designated “Multiple Use.”

### **Land Use Intensity**

General Plan Table 2.4 and Policy 2.57 identify a low end range for Floor Area Ratio (FAR) at 0.25, with the precise upper limit to be determined by subsequent specific plans. Table 5.4 of the Specific Plan sets this maximum at 3.0 FAR.

The floor area required to meet the minimum 0.25 FAR on the site is 40,293 square-feet. The applicant is unable to achieve the minimum FAR of 0.25 due to development restrictions imposed by the Best Buy lease. In applying the development criteria permitted by the lease, the applicant has the ability to achieve only 21,000 square-feet of development on three 7,000-square-foot building pads. The three buildings would result in an FAR of 0.13 and this is not within the acceptable range of the General Plan.

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<sup>1</sup> Condition no. 9: Parking on all non-residential parcels shall be designated on the Final Map as reciprocal parking easements for all other non-residential parcels within the boundary of the approved Tentative Map. The form of the designation shall be to the satisfaction of the City Engineer and City Attorney. (Resolution 2008-209).

<sup>2</sup> Condition no. 10: Prior to issuance of any Building Permit, a Parking Demand Management Plan shall be submitted by the developer and approved by the City. The Parking Demand Management Plan shall identify specific parking spaces to be shared, the times of the day and days of the week each parking space will be available for each use to be served, and the proximity and ease of access of shared parking spaces to uses to be served. (Resolution 2008-209).

The applicant is seeking to negotiate with Best Buy to amend the terms of the lease as it affects the development potential of the subject parcel to allow ±30,994 square-feet of structural coverage. The proposed ±30,994 square-feet of retail/restaurant development would result in an FAR of 0.19 and is still insufficient to meet the minimum FAR set by the General Plan.

For either the three pad (21,000 square-feet) or four pad (±30,994 square-feet) development scenarios, an amendment to the text of the General Plan is needed to allow for a finding of General Plan consistency to be made. To address this, a Condition of Approval has been added to the draft Resolution requiring that, "... project approval is subject to approval, by City Council, of a text amendment to General Plan Policy 2.57 and Table 2.4 to remove the minimum FAR for projects within areas designated 'Multiple Use' on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, to provide flexibility to be less than 0.25 FAR." Draft text edits to the General Plan Policy 2.57 and Table 2.4 are attached with this report ("**EXHIBIT A**").

### Text Amendment Implications

#### *Applicability of the Text Amendment*

Parcels in Marina that meet the dual criteria of being designated as Multiple Use on the General Plan Land Use Map and by a specific plan are located within the Dunes on Monterey Bay Specific Plan area and the Marina Transit Center (MTC) Specific Plan area (280 Reservation Road). As the MTC Specific Plan is very detailed as to the anticipated land uses, square footage and number of residential units in this mixed use project, an amendment to the Specific Plan would be required to reduce the FAR. Thus, this proposed text amendment would apply only to Multiple Use designated parcels in the Dunes on Monterey Bay Specific Plan area. The proposed text amendment could have the effect of changing the overall development pattern throughout the Dunes from what is shown in Artist's Conceptual Illustrative Plan ("**EXHIBIT B**") to create an auto-oriented versus a pedestrian-oriented shopping experience.

#### *Low-intensity, Auto-oriented Development*

The intent of the Multiple-Use Commercial category is to permit and encourage a mix of different land use types in a planned and integrated manner, which in turn serves a number of functions, including reducing the total number of vehicular trips by encouraging multiple-purpose trips and access by foot to many destinations (General Plan Policy 2.56). The proposed text amendment to allow low-intensity development could foster auto-oriented development, rather than create a more intense pedestrian-oriented community consistent with General Plan Primary Policy 2.4.5.<sup>3</sup> Projects with small building footprints and a large amount of onsite parking by their design encourage single-purpose (rather than multiple-purpose) trips and discourage pedestrian access to a site.

#### *Underutilization of Land*

In addition to maintaining sufficient intensity of use to promote a pedestrian-oriented pattern of development, the intent of a minimum FAR is to ensure economic development that provides a strong fiscal base and prevent underutilization of land. Land appropriate for community development is intended in the General Plan to be allocated and phased in a manner that enhances local employment and economic opportunities and provides the City with a strong economic and fiscal base (General Plan

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<sup>3</sup> General Plan Primary Policy 2.4.5: Future land development, whether it involves development of new areas, infilling of existing neighborhoods or commercial areas, or redevelopment of former Fort Ord lands, shall be organized and have sufficient intensity to help ensure the longer-term feasibility of public transit for work and other purposes, and to create a pedestrian-oriented community.

Primary Policy 2.4.12). A diversified and sound economic base is consistent with General Plan Goal No. 9, in that it will permit the delivery of high-quality public services to city residents and businesses (Section 1.18.9). The proposed text amendment would allow development that underutilizes the potential intensity of land uses and, therefore, minimizes enhancements to the City's economic and fiscal base.

### ***General Plan Policies for Walkability in Downtown Marina***

It should be noted that the General Plan includes policies to address currently economically underutilized retail uses in central Marina on Reservation Road and promote a more pedestrian-friendly shopping environment (Policies 4.70 through 4.73). Relevant key measures include:

- Considering carefully drive-in facilities in order to reduce single-purpose trips and minimize on-site vehicular circulation which may conflict with pedestrian circulation and increase the total area devoted to pavement.
- Avoiding multiple points of ingress and egress for single parcels and, where feasible, providing joint ingress and egress for adjacent parcels.
- Providing a continuous pedestrian-oriented frontage along the street face of buildings.
- Providing pedestrian/bicycle links from the shopping area to nearby residences.
- Improving rights-of-way to provide safe and attractive pedestrian routes.

### **CONSISTENCY WITH THE DUNES ON MONTEREY BAY SPECIFIC PLAN**

#### **Design Concept**

The Dunes on Monterey Bay Specific Plan provides the planning principles, development regulations, design guidelines, and infrastructure improvements for the creation of the Dunes community.

As shown on the Artist's Conceptual Illustrative Plan, the subject site is located within the Village Center adjacent to the Village Square and Village Promenade. The Village Square forms the "heart" of the Village Center and is the focal point for the planned Village Promenade. Surrounding the Village Square and Village Promenade are buildings that are planned to house specialty retail, restaurant and residential uses.

As described on page 27 of the Specific Plan, the Village Promenade is intended to expand over time to the north and incorporate the subject site. General Stillwell Drive, to the north and west of the subject site, was strategically placed to allow the continuation, with strong pedestrian connections, of the Village Promenade towards the existing Dunes Shopping Center. On the subject parcel, adjacent to General Stillwell Drive, 2<sup>nd</sup> Avenue and the unnamed access road, ground floor shop fronts with mixed use above would face the streets, with surface parking located in the center of the site and behind buildings. This surface parking could be converted to structured parking to satisfy parking requirements over time, if needed. The Specific Plan includes a sketch to illustrate conceptually how this could occur ("**EXHIBIT C**").

The proposed project provides multiple retail tenant spaces located in up to four buildings. The retail buildings front the internal parking lot on the subject site, and the rear of the buildings front General Stillwell Drive, the unnamed access road and 2nd Avenue.

The Site and Architectural Design Review Board (DRB) reviewed the Plan Set on April 29, 2015, and recommended Planning Commission consideration of DR 2015-03, subject to conditions which have been incorporated as Conditions of Approval in the draft Resolution.

## Site Plan

The Site Plan (“**EXHIBIT D**”) has been modified as a result of review by the DRB to address the following:

- Eliminate the ability for vehicles to pull through the compact parking spaces in the parking lot in between Buildings A and D by providing a six-inch curb.
- Provide one pedestrian link at the southern driveway entrance next to Building D and across the unnamed access road to the south and provide two pedestrian crossings across General Stillwell Drive to the north on either side of the proposed driveway entrance on General Still Drive.
- Eliminate a sidewalk along the north side of the unnamed access road behind Buildings B and C, eliminate the pedestrian link to between Buildings B and C and across the unnamed access road to the planned Village Promenade, and provide additional landscaping, including trees, in these areas to soften the appearance of Buildings B and C along the unnamed access road.
- Provide a sidewalk on the south side of the unnamed access road, thereby allowing additional landscaping, including trees, along the north side of the roadway and behind Building D.

Please note that as part of the condition of approval regarding providing pedestrian access along the unnamed access road, the applicant is required to enter into a contractual agreement with Marina Community Partners to install the sidewalk to City standards on the south side of the roadway as part of and at the same time as project construction. To ensure this contractual agreement is entered into a timely manner, a modification to this condition has been added to the draft Resolution to require the applicant to submit the letter of agreement signed by the applicant and Marina Community Partners at least two weeks prior to the June 30, 2015 City Council meeting.

The DRB added a condition for the applicant to revise the compact stalls design to prohibit pull-through movements in the parking lot in between Buildings A and D by adding a landscape planter strip. As indicated above, the Site Plan has been revised to eliminate the ability for vehicles to pull through the compact parking spaces by providing a six-inch curb.

The DRB also conditioned the project to look into the redesign of the existing driveway entrance to allow two-way movements. If two-way turn movements are not possible or approved by Marina Community Partners and the City Engineer, the applicant would have to resubmit Site Plan for further review of site circulation by the DRB. The applicant has not provided conceptual redesigns of the driveway entrance for review. To ensure this issue is resolved in a timely manner without having to go back to the DRB for further consideration, a modification to this condition has been added to the draft Resolution to require the applicant to submit design alternatives at least two weeks prior to the June 30, 2015 City Council meeting.

To also ensure the required seven foot wide buffered bicycle lane on General Stillwell Drive is considered at the same time of any redesign of the existing driveway entrance, a modification to this condition has been added to the draft Resolution to require the applicant to work with both Marina Community Partners and the City Engineer and to submit a revised Site Plan at least two weeks prior to the June 30, 2015 City Council meeting.

The access and parking configuration has been reviewed by the Marina Fire Chief regarding fire truck access and turning movements which meet turn radii and drive aisle width standards for accommodating a ladder truck.

### Landscape Plans

The Landscape Plan has been modified as a result of review of the DRB to address the following:

- Use red gum eucalyptus (*Eucalyptus ficifolia*) as a street tree along 2nd Avenue.
- Provide California-native shrubs, grasses and groundcover plants behind the sidewalk along 2nd Avenue.
- Create a tree-lined road that softens the rear of Buildings B, C and D.
- Replant two boxed Monterey cypress onsite, one adjacent to the plaza next to Building B and the other in the parking lot facing Building B.
- Soften the retaining wall with a creeping fig vine (*Ficus pumila*).

In addition, the applicant has provided a fence detail to be constructed where the proposed retaining wall is 30 inches or greater in height. The proposed fence is of similar design to the one on top of the retaining wall in front of REI's parking lot.

### Elevations

The Elevations have been modified as a result of review by the DRB to address the following:

- Treat the end cap units with fenestrations on three sides.
- Raise the parapet in between the two columns on Building A to the same height as the columns and, thereby, change the appearance of the roofline to step up and down.

Please note that a condition of approval was added by the DRB requiring the applicant to provide adequate screening of rooftop mechanical and/or other appurtenances equipment from view of pedestrians on 2nd Avenue prior to issuance of a building permit. If additional rooftop screening is necessary because equipment is visible from 2nd Avenue, the applicant shall resubmit the Elevations for further review by the DRB.

### CALIFORNIA ENVIRONMENTAL QUALITY ACT

On May 31, 2005, the Marina City Council adopted Resolution No. 2005-127, certifying the final EIR for the Dunes on Monterey Bay project in accordance with the CEQA and state and local guidelines, making certain findings and determinations thereto, adopting a statement of overriding considerations, and adopting a mitigation monitoring and reporting program.

The project EIR anticipated and analyzed up to 750,000 square-feet of retail use within the Dunes on Monterey Bay project area, including the project site. To date, approximately ±368,000 square-feet of retail development have been constructed. The proposed project would not result in retail development exceeding the amount analyzed in the EIR.

Technical studies have been prepared by qualified professionals to determine whether the project falls within the parameters established by Section 15162(a)(3)(A) through (D) of the CEQA guidelines. These studies determined that the proposed project does not call for the preparation of a subsequent Environmental Assessment, Mitigated Negative Declaration, or Environmental Impact Report, as the proposed project uses were fully contemplated within the Dunes on Monterey Bay Specific Plan and analyzed within the Specific Plan EIR.

The proposed General Plan text amendment is exempt from the CEQA pursuant to Section 15061(b)(3) (General Rule), whereby it can be seen with certainty that there is no possibility that the text amendment in question may have a significant effect on the environment.

**CONCLUSION:**

The request is submitted for Planning Commission consideration and possible action.

Respectfully submitted,



Justin Meek, AICP  
Senior Planner  
City of Marina

**REVIEWED/CONCUR:**



Theresa Szymanis, AICP CTP  
Acting Director, Community Development Department  
City of Marina

RESOLUTION NO. 2015-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MARINA RECOMMENDING THAT CITY COUNCIL CONSIDER GP 2015-01, APPROVING A TEXT AMENDMENT TO GENERAL PLAN POLICY 2.57 AND TABLE 2.4 TO REMOVE THE MINIMUM FLOOR AREA RATIO (FAR) FOR PROJECTS WITHIN AREAS DESIGNATED "MULTIPLE USE" ON THE GENERAL PLAN LAND USE MAP AND LOCATED WITHIN MULTIPLE USE DESIGNATED AREAS IN EXISTING AND SUBSEQUENT SPECIFIC PLANS, TO PROVIDE FLEXIBILITY TO BE LESS THAN 0.25 FAR

WHEREAS, on January 29, 2015, the applicant, Scott Negri, on behalf of SKN Properties, filed an application for Site and Architectural Design Review Board to review DR 2015-03, allowing up to 30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area, and;

WHEREAS, the project intensity does not fall within the acceptable range of the General Plan; therefore, a General Plan text amendment has been requested to remove the minimum FAR for projects within areas designated "Multiple Use" on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, and;

WHEREAS, the General Plan text amendment would be applicable citywide, and;

WHEREAS, at a regularly scheduled meeting of May 28, 2015, the Planning Commission of the City of Marina conducted a duly noticed public hearing to consider recommending the City Council consider GP 2015-01, approving a text amendment to General Plan Policy 2.57 and Table 2.4 to remove the minimum FAR for projects within areas designated "Multiple Use" on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, to provide flexibility to be less than 0.25 FAR, considered all public testimony, written and oral, presented at the public hearing, received and considered the written information, and;

WHEREAS, the Planning Commission finds the proposed text amendment to the Marina General Plan is consistent with the goals, policies and programs of the Marina General Plan in that the amendment is in the public interest as it provides for flexibility in the design of lands designated "Multiple Use" on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, and;

WHEREAS, the proposed text amendment is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Section 15061(b)(3) (General Rule), whereby it can be seen with certainty that there is no possibility that the text amendment in question may have a significant effect on the environment, and;

NOW, THEREFORE BE IT RESOLVED by the Planning Commission of the City of Marina that it hereby recommends that City Council consider GP 2015-01, approving a text amendment to General Plan Policy 2.57 and Table 2.4 to remove the minimum FAR for projects within areas designated "Multiple Use" on the General Plan Land Use Map and located within Multiple Use designated areas in existing and subsequent Specific Plans, to provide flexibility to be less than 0.25 FAR ("EXHIBIT A" to this Resolution).

PASSED AND ADOPTED by the Planning Commission of the City of Marina at a regular meeting duly held on the 28<sup>th</sup> day of May 2015, by the following vote:

AYES, PLANNING COMMISSION MEMBERS:

NOES, PLANNING COMMISSION MEMBERS:

ABSENT, PLANNING COMMISSION MEMBERS:

ABSTAIN, PLANNING COMMISSION MEMBERS:

---

David Burnett, Chairperson

ATTEST:

---

Theresa Szymanis, AICP CTP  
Acting Community Development Director

RESOLUTION NO. 2015-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MARINA RECOMMENDING THAT CITY COUNCIL CONSIDER DR 2015-03, ALLOWING UP TO ±30,994 SQUARE-FEET OF NEW BUILDINGS ON UP TO FOUR DEVELOPMENT PADS LOCATED ON A ±3.7 ACRE SITE WITHIN THE DUNES ON MONTEREY BAY (FORMERLY UNIVERSITY VILLAGES) SPECIFIC PLAN AREA (APNS 031-282-024 THROUGH -027, FORMERLY THE NORTHERN PORTION OF APN 031-282-012), SUBJECT TO CONDITIONS

WHEREAS, at a special meeting of May 31, 2005, the Marina City Council adopted Resolution No. 2005-127 certifying the final Environmental Impact Report (EIR) (SCH No. 2004091167) for the Dunes on Monterey Bay Specific Plan project in accordance with the California Environmental Quality Act (CEQA) and state and local guidelines, and;

WHEREAS, at a special meeting of May 31, 2005, the Marina City Council adopted Resolution No. 2005-130 approving the Dunes on Monterey Bay Specific Plan containing development principles, development standards and design guidelines for the redevelopment of 420 acres within South Marina, and;

WHEREAS, at a special meeting of May 31, 2005, the Marina City Council adopted Resolution No. 2005-131 approving the University Village Tentative Map, and;

WHEREAS, at the special meeting of May 31, 2005, the Marina City Council adopted Resolution No. 2005-132 approving site plans, landscaping and lighting plans, building elevations, and sign programs for the Regional Retail and Village Promenade project components, and;

WHEREAS, at the special meeting of May 31, 2005, the Marina City Council adopted Resolution No. 2005-134 finding that the legislative land use approval for the Dunes on Monterey Bay Specific Plan project is consistent with the Fort Ord Reuse Plan, and;

WHEREAS, on February 16, 2007, an Operation and Easement Agreement (OEA) for the Shopping Center was executed and recorded by Target Corporation, Shea Marina Village, LLC and Marina Community Partners (Series No. 2007-14247 of Official Records, Monterey County), and;

WHEREAS, in 2007, Marina Community Partners entered into a lease agreement with Best Buy that limits the location, size and height of development on the subject property, and;

WHEREAS, at the regular meeting of October 21, 2008, the Marina City Council adopted Resolution No. 2008-208 through 2008-210 taking the following actions: certifying an addendum to the EIR for The Dunes on Monterey Bay; approving an amendment to the University Village Tentative Map; and revising the site plan for Phase 1B and tenant sign criteria for retail Phases 1A and 1B for The Dunes on Monterey Bay development, subject to conditions, and;

WHEREAS, on November 1, 2012, a Parcel Map was recorded subdividing the subject site into four lots totaling ±160,679 square-feet. The Parcel Map states that the rights of ingress and egress and overall use of the subject property are governed by the aforementioned Shopping Center OEA, and;

WHEREAS, on January 29, 2015, the applicant, Scott Negri, on behalf of SKN Properties, filed an application for Site and Architectural Design Review Board to review DR 2015-03, allowing up to

30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area as shown on Plan Set, and;

WHEREAS, at the special meeting of April 29, 2008, the Site and Architectural Design Review Board of the City of Marina adopted Resolution 2015-01, recommending Planning Commission consideration of Design Review DR 2015-03, allowing up to 30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area, subject to conditions, and;

WHEREAS, staff has reviewed the application according to the Marina General Plan, Dunes on Monterey Bay Specific Plan Standards, and the Environmental Mitigation Monitoring Program, and;

WHEREAS, based on technical studies prepared by qualified professionals, staff have ascertained that the project does not fall within the parameters established by Section 15162(a)(3)(A) through (D) of the California Environmental Quality Act (CEQA), as the proposed project uses were fully contemplated within the Dunes on Monterey Bay Specific Plan and analyzed within the Specific Plan EIR, and;

WHEREAS, at a regularly scheduled meeting of May 28, 2015, the Planning Commission of the City of Marina conducted a duly noticed public meeting to consider recommending City Council consider DR 2015-03, allowing up to 30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area, considered all public testimony, written and oral, presented at the meeting, received and considered the written information and recommendation of the staff report for the April 29, 2015, meeting related to the proposed project.

NOW, THEREFORE BE IT RESOLVED by the Planning Commission of the City of Marina that it hereby recommends City Council consider Design Review DR 2015-03, allowing up to 30,994 square-feet of new buildings on up to four development pads located on a ±3.7 acre site within the Dunes on Monterey Bay Specific Plan area as shown on “**EXHIBIT A**” attached hereto, based upon the following findings, and subject to the following Conditions of Approval:

#### Findings

1. Consistency with Marina General Plan Policies – That the proposed project has been designed consistent with the policies within the Marina General Plan (October 31, 2000), provided that the City Council amends the General Plan to remove the minimum FAR for projects within areas designated “Multiple Use” on the General Plan Land Use Map and located within Multiple Use designated areas in subsequent Specific Plans, allowing flexibility for retail developments to have a FAR of less than 0.25.
1. Consistency with Dunes on Monterey Bay Specific Plan – That the proposed project has been designed consistent with the planning principles, development standards and design guidelines within the Dunes on Monterey Bay Specific Plan (May 31, 2005), and that, as conditioned, the project will:
  - a. Create a mix of retail uses within the Dunes of Monterey Bay Specific Plan area.
  - b. Incorporate native and drought tolerant landscaping.
  - c. Provide pedestrian and bicycling connections to and from the site.

2. Site and Architectural Design Review DR 2015-03 – That the proposed project has been designed and will be constructed, and so located, that the project, as conditioned, will not:
  - a. Be unsightly, undesirable or obnoxious in appearance to the extent that they will hinder the orderly and harmonious development of the City, in that the project is compatible with the existing nearby Shopping Center and the design is consistent with the Dunes on Monterey Bay Specific Plan design guidelines.
  - b. Impair the desirability of residence or investment or occupation in the City, in that project will develop a vacant property in Phase 1B of the Dunes on Monterey Bay Specific Plan area, and improve and add value to the nearby Phase 1C residential portion of the Dunes on Monterey Bay Specific Plan area and to the City as a whole.
  - c. Limit the opportunity to obtain the optimum use and value of the land and improvements, in that the General Plan shall be revised to remove the minimum FAR to provide flexibility for development at reduced intensity in a specific plan area.
  - d. Impair the desirability of living conditions on or adjacent to the subject site, in that project will provide additional retail spaces convenient located adjacent to the planned residential-above-retail building in the Village Promenade to the south.
  - e. Otherwise adversely affect the general welfare of the community, in that the project will provide convenient retail and restaurant uses and have an overall positive effect on the general welfare of the community.

#### Conditions of Approval

1. Building Permits – The applicant shall obtain all necessary building permits from the Marina Building Division prior to project construction.
2. General Plan Amendment – Project approval is subject to approval, by City Council, of a text amendment to General Plan Policy 2.57 and Table 2.4 to remove the minimum FAR for projects within areas designated “Multiple Use” on the General Plan Land Use Map and located within Multiple Use designated areas in subsequent Specific Plans, to provide flexibility to be less than 0.25 FAR.
3. Fire Department – Marina Fire Department standard conditions shall be implemented to the satisfaction of the Fire Chief.
4. Compact Parking – The applicant shall revise the Site Plan, as necessary, to provide up to 15 percent of all parking stalls as compact parking stalls that are 8.5 feet wide by 16 feet long, with a 2-foot overhang permitted.
5. Compact Spaces between Buildings A and D – The applicant shall revise the Site Plan to incorporate ±25-foot drive aisles and a landscape planter strip bordering the compact stalls in the parking lot between Buildings A and D.
6. Existing Entrance Redesign – The applicant shall work with Marina Community Partners and the City Engineer to consider design alternatives for the General Stillwell Drive entry that removes the existing “pork chop” and allows two-way turn movements. Said design alternatives shall be submitted for review two weeks prior to the June 30, 2015 City Council meeting. If two-way turn movements are not possible or approved by Marina Community Partners and the City Engineer, the

applicant shall resubmit Site Plan for further review of site circulation by the Site and Architectural Design Review Board.

7. Pedestrian Crossings Across General Stillwell Drive – The applicant shall revise the Site Plan to provide two (2) pedestrian crossings to the north on either side of the proposed driveway entrance on General Stillwell Drive.
8. Pedestrian Crossing Across the Unnamed Access Road – The applicant shall revise the Site Plan to provide one (1) pedestrian link at the southern driveway entrance next to Building D and across the unnamed access road to the south.
9. Pedestrian Facilities behind Buildings B and C along the Unnamed Access Road – The applicant shall revise the Site Plan to (a) eliminate the sidewalk along the unnamed access road behind Buildings B and C, (b) eliminate the pedestrian link between Buildings B and C and across the unnamed access road to the planned Village Promenade, and (c) provide additional landscaping, including trees, in these areas (i.e., the street-facing southern frontage of the western portion of Building B to the eastern portion of Building C) to soften the appearance of Buildings B and C along the unnamed access road.
10. Pedestrian Access on Unnamed Access Road – The applicant shall revise the Site Plan to provide pedestrian access along the unnamed access road and achieve landscaping goals by either (a) entering into a signed letter of agreement with Marina Community Partners to install a permanent sidewalk to City standards on the south side of the roadway as part of and at the same time as project construction, thereby allowing the removal of the proposed sidewalk on the north side next to Building D and the installation of additional landscaping, including trees, in its place to soften the appearance of the depressed drive aisle behind Building D or (b) keeping the proposed sidewalk on the north side of the roadway and moving Building D to the north to provide space for providing ±3 feet of landscaping, not including trees, in between the sidewalk and retaining wall to soften the walking experience. If option “a” is selected, a copy of the signed letter of agreement between the applicant and Marina Community Partners shall be submitted to the City Manager for review and approval at least two weeks prior to the June 30, 2015 City Council meeting.
11. Bicycle Lanes along General Stillwell – The applicant shall revise the Site Plan and work with Marina Community Partners and the City Engineer to restripe the General Stillwell Drive to provide a seven (7) foot wide buffered bicycle lane in either direction. The revised Site Plan shall be submitted to the Community Development Director for review and approval at least two weeks prior to the June 30, 2015 City Council meeting
12. Landscape Plan Amendments – The applicant shall amend the Landscape Plan as follows:
  - a. Trees along 2nd Avenue shall be either cork oak (*Quercus suber*) or red gum eucalyptus (*Eucalyptus ficifolia*).
  - b. Incorporate trees into the plant mix behind Buildings B and C (and possibly D depending on the actions taken in compliance with Condition of Approval No. 10) bordering the unnamed access road.
  - c. The Landscape Plan shall show the location and proportion of individual shrub and groundcover plants.
  - d. Trees shall be provided in front of the buildings either in tree wells in the concrete walk or in landscape planters in the parking lot next to the concrete walk.
  - e. The currently proposed number of trees, shrubs and groundcover plants shall not be reduced in number and shall constitute at least 65 percent California native plantings.
    - i. The box size for planted trees shall be a minimum of 15 gallons.

- ii. Trees planted in areas of special interest, such as entries and plaza or patio areas, shall have a minimum tree size of 24-inch box.
- iii. Trees shall be spaced about 30 feet from center for larger tree varieties and about 20 feet from center for smaller varieties. In addition, tree setbacks shall be a minimum of:
  - 1. 30 feet from street corners for sight line visibility (greater setback may be required as determined by the City Engineer);
  - 2. 10 feet from driveways;
  - 3. 15 feet from streetlights and traffic control signals;
  - 4. 5 feet from water, gas and fire service laterals; and
  - 5. 10 feet from sewer and gas laterals.
- iv. The minimum size for planted shrubs shall be at 5 gallons for at least 50 percent of the shrubs and at 1 gallon for the remaining balance of shrubs.
- v. Groundcover planting shall be installed at sizes and spacings to provide complete cover within one year of installation.

13. Landscape Plan Resubmittal – After amending the Landscape Plan consistent with the approved Dunes on Monterey Bay plant palette, the applicant shall resubmit it for administrative review and approval.
14. Surety Bond – Prior to the issuance of a building permit, the applicant shall provide a bond or other surety acceptable to the City to guarantee that the installed landscaping shall remain in a healthy and growing condition for a minimum of two years from the date of occupancy approval. The amount of the surety shall be a minimum of 20 percent of the actual or estimated costs of the installation accepted by the Planning Services Division. An amount greater than 20 percent may be required by the Planning Services Division if more exotic, less reliable plant material is specified in the approved Landscaping Plan. Two years after the approval of occupancy, the applicant shall contact the Planning Services Division to arrange for an inspection of the landscaping. If or when all landscaping shown on the approved plans is in place and is in healthy and growing condition, the surety shall be returned to the entity that provided the surety or to another entity upon proof of transfer. If plant material is dead, dying or missing and the applicant does not take steps to restore the landscaping, the City shall have the authority to use the surety for the restoration of the landscaping.
15. Rooftop Screening – Prior to issuance of a building permit, the applicant shall revise the Elevations to provide adequate screening of rooftop mechanical and/or other appurtenances equipment from view of pedestrians on 2nd Avenue. If additional rooftop screening is necessary because equipment is visible from 2nd Avenue, the applicant shall resubmit Elevations for further review by the Site and Architectural Design Review Board.
16. End Cap Fenestrations – The applicant shall revise the Elevations to treat the end cap units with fenestration, such as windows, on three sides.
17. Elevations Resubmittal – The applicant shall resubmit Elevations for administrative review and approval.
18. Lighting – The Photometric Plan and lighting specifications shall show white light only, consistent with standards set by the Illuminating Engineers Society for open parking, sidewalks and grounds with a minimum variation in foot-candles across the site and shall be submitted for review and approval by the Community Development Director.

19. Substantial Compliance – Once the Plan Set has been revised to the satisfaction of the Community Development Director, development shall be accomplished in substantial accordance with the revised Plan Set.

PASSED AND ADOPTED by the Planning Commission of the City of Marina at a regular meeting duly held on the 28<sup>th</sup> day of May 2015, by the following vote:

AYES, PLANNING COMMISSION MEMBERS:

NOES, PLANNING COMMISSION MEMBERS:

ABSENT, PLANNING COMMISSION MEMBERS:

ABSTAIN, PLANNING COMMISSION MEMBERS:

---

David Burnett, Chairperson

ATTEST:

---

Theresa Szymanis, AICP CTP  
Acting Community Development Director

**Table 2.4. Summary of Commercial Floor Area Ratios (FAR's)**

<b>Land Use</b>	<b>Minimum FAR</b>	<b>Maximum FAR</b>
Retail and Personal Services	0.25	0.55 (4)
Regional Sales and Services	0.25	0.40
Visitor-Serving Retail and Service	0.15 (1)	0.40
Multiple-Use Commercial	0.25 (5)	0.90 (2)
Office and Research	0.25	0.60 (3)

- (1) Interim uses permitted at FAR of 0.10.
- (2) Maximum FAR to be determined by subsequent specific plans.
- (3) Upper limit, varies by area.
- (4) Maximum 0.55 FAR shall be replaced with a maximum FAR ranging between 0.55 FAR and 0.90 FAR in the following circumstances: (a) the increase in the minimum FAR above 0.55 FAR shall be contingent upon the provision a combination of landscaping, pedestrian plazas, walkways and other common open spaces on the site freely usable and accessible by the public at a ratio of one square foot of such open spaces for each five square feet of gross building floor area; and (b) off street parking is screened from view by combination of buildings and landscaping and is principally located towards the rear of the site. Required common open spaces may include covered exterior spaces and, where an agreement for public access acceptable to the City is approved, enclosed spaces may be included. (2003-09, 2004-29, 2005-82)
- (5) Minimum FAR for projects located within Multiple Use designated areas in existing and subsequent specific plans may be less than 0.25 to provide flexibility in project design.

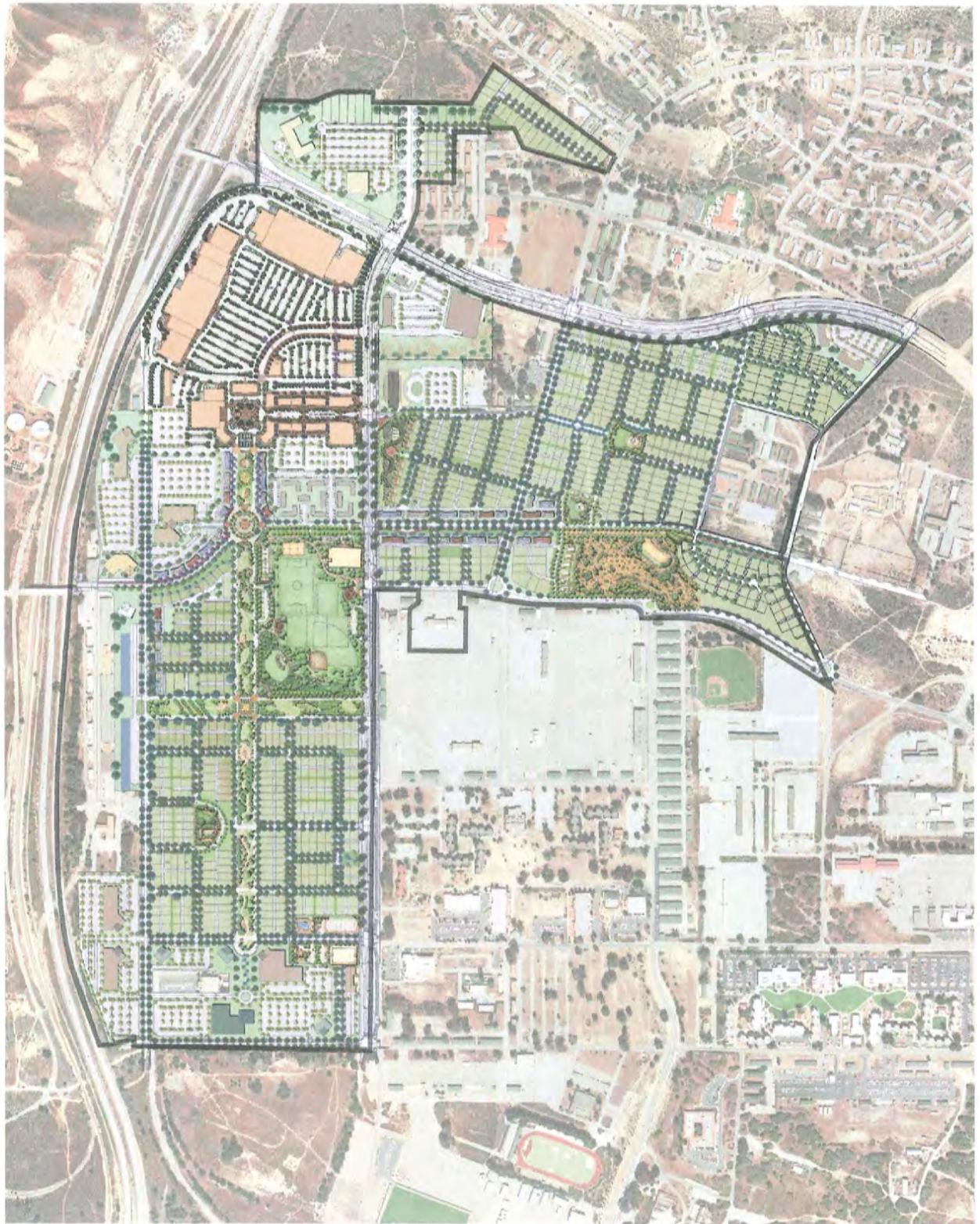
**Multiple-Use Commercial**

**2.57** A minimum FAR of 0.25 shall be required, except on land also designated as Multiple Use in specific plan areas, and FAR's of up to 0.90 may be permitted for well-designed projects which achieve General Plan objectives such as effectively integrating two or more uses; providing for a pedestrian orientation, including landscaped courtyards, plazas and walkways; incorporating visually attractive or high-caliber architectural design, detail and materials; and providing for landscaping beyond the required minimum. The precise upper limit shall be determined by subsequent specific plans in areas subject to a specific plan requirement, and through discretionary project review in areas not subject to a specific plan requirement. The precise lower limit shall be flexible for projects in existing and subsequent specific plans to provide flexibility for designing multiple-use developments with a FAR less than 0.25. Development in Multiple-Use Commercial areas may take any one of three forms:

1. Individual sites may be developed for any of the permitted uses.
2. Two or more separate structures, each occupied by different types of use, may occupy the same site.
3. A building may contain two or more of the permitted uses.

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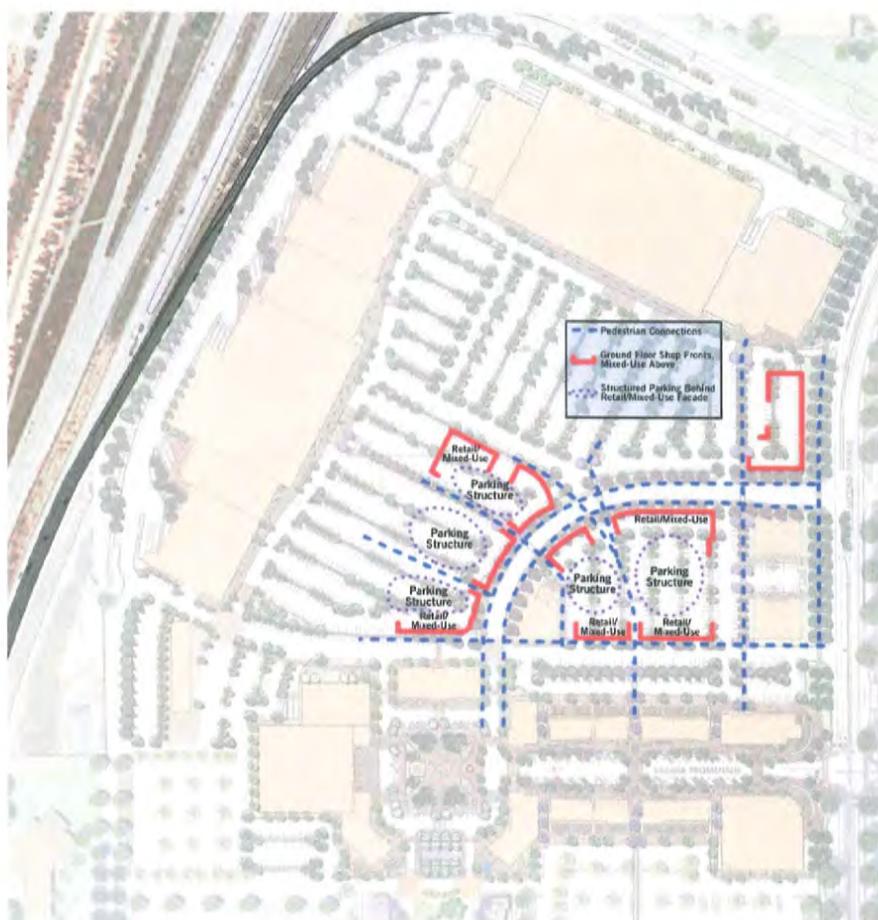
ARTIST'S CONCEPTUAL ILLUSTRATIVE PLAN



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## DESIGN CONCEPT

Located within the regional retail portion of the Village Center is a public street that links 2nd Ave to the Village Square. This street is strategically placed to allow the retail and mixed-use buildings of the Village Promenade to expand over time as market conditions demand. As additional buildings are built along this street, structured parking may be created to satisfy parking requirements. The following sketch illustrates conceptually how this could occur.



# SHOPS AT THE DUNES

MARINA,

CALIF.



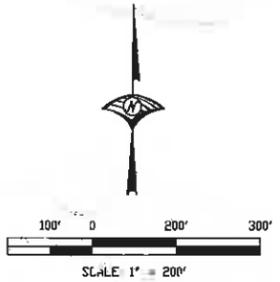
REVISIONS	
△	
△	
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4130 N. West Suite II  
 Fresno, Ca 93711  
 554-216-0100

DATE: JAN. 21, 2016  
 JOB NO.: M50

**CS**  
 OF SHEETS



FORT ORD DUNES STATE PARK

EXISTING BIKE TRAIL  
STATE ROUTE 1

FUTURE MST TRANSIT FACILITY

EXISTING 8TH STREET BRIDGE

VETERANS AFFAIRS MEDICAL CENTER SITE

FUTURE RETAIL / OFFICE

RESIDENTIAL

EXISTING 1ST AVENUE

PROPOSED MULTI-MODAL CORRIDOR

PHASE 2

BRICK BLDG

CINEMA

VILLAGE SQUARE

E

D

APARTMENTS

SOUTH COUNTY HOUSING

FUTURE CITY PARK

PARTY CITY  
MICHAELS  
BED BATH & BEYOND

KOHL'S

OLD NAVY

BEST BUY

TARGET

FAMOUS FOOTWEAR

REI

MAIN PARKWAY

2ND AVENUE

8TH STREET

FORA OFFICE PARTNERS

VETERANS TRANSITION CENTER

SALINAS VALLEY MEDICAL FACILITY

MONTEREY PENINSULA COLLEGE

CHOMP

VETERANS TRANSITION CENTER

GOODWILL

HOTEL SITE

YOUNG NAK CHURCH

PHASE 1C

PHASE 2

PROPOSED MULTI-MODAL CORRIDOR

10TH STREET

BOARDWALK AVENUE

3RD AVENUE

LIGHTHOUSE LANE

M.I.R.A.

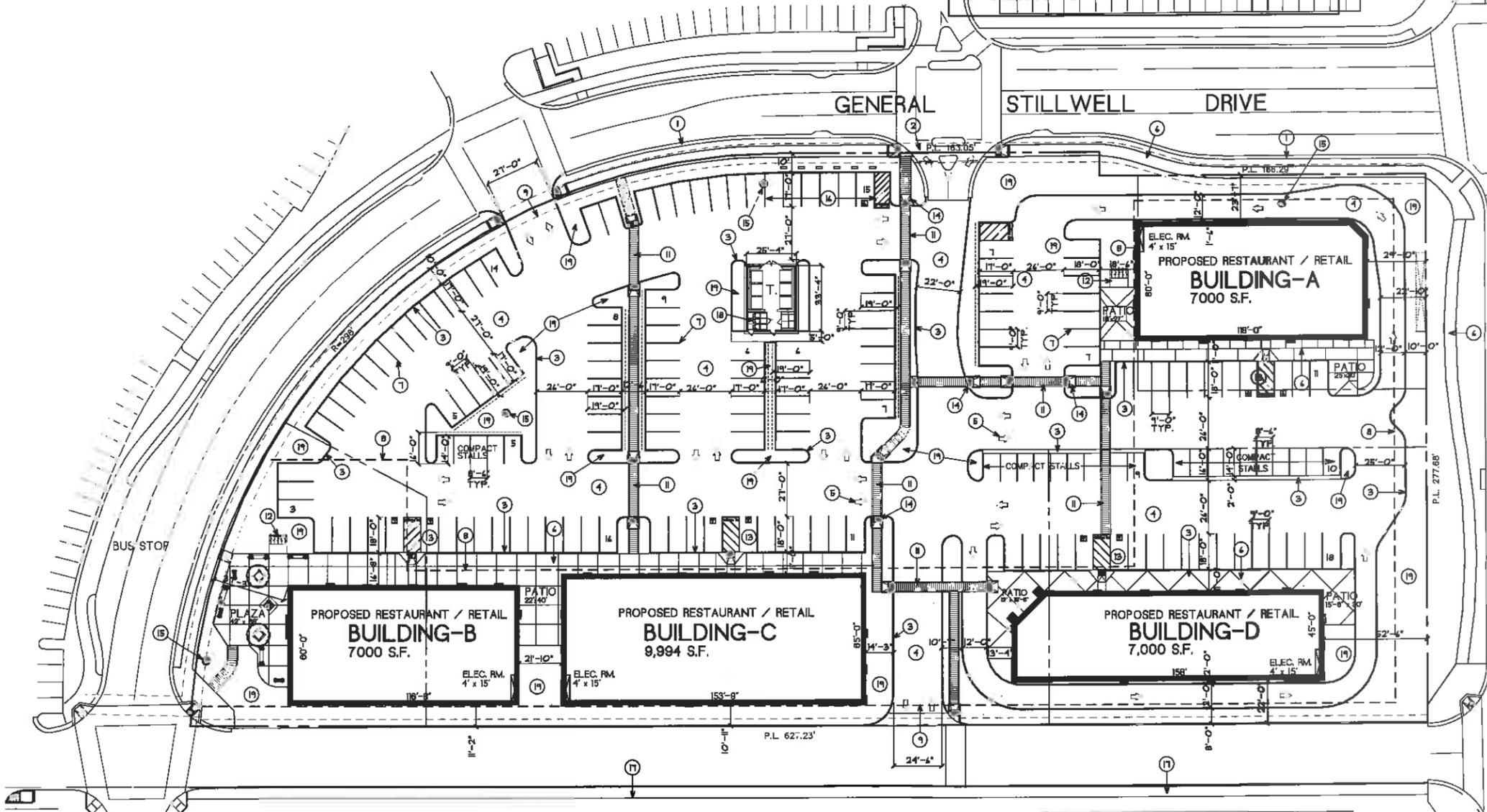
CITY OF MARINA

CSUMB

THIS PROJECT SHALL COMPLY WITH THE 2013 EDITION OF THE CBC, CFC, CPC, CMC THE 2013 CALIFORNIA ENERGY CODE AND ENERGY COMMISSION STANDARDS AND THE 2013 CALIFORNIA GREEN BUILDING STANDARDS

SITE NOTE KEY	
1.	EXISTING CONCRETE CURB AND GUTTER PER CITY OF MARINA P.U. STANDARDS (E)
2.	EXISTING DRIVE APPROACH PER CITY OF MARINA P.U. STANDARDS
3.	4' CONCRETE CURBS PER CITY OF MARINA P.U. STDS.
4.	ASPHALT PAVING PER CITY OF MARINA P.U. STANDARDS
5.	PAINTED DIRECTIONAL ARROWS
6.	EXISTING CONCRETE WALKS WITH MAXIMUM 2% CROSS SLOPE TO CITY OF MARINA P.U. STANDARDS
7.	4' WIDE PAINTED WHITE STRIPES
8.	BUILDING LIMIT LINE
9.	DRIVE APPROACH PER CITY OF MARINA P.U. STANDARDS
10.	TRASH ENCLOSURE TO CITY OF MARINA P.U. STANDARDS
11.	5'-0" WIDE PATH OF TRAVEL WITH STAMPED CONCRETE BOARDWALK
12.	(B) BIKE RACK
13.	VAN ACCESSIBLE STALL SEE DETAIL '2/A-1'
14.	ACCESSIBLE RAMP SEE DETAIL '3/A-1'
15.	ARMY VAPOR EXTRACTION MONITORING WELL
16.	CHARGING STATION (4) TOTAL
17.	4' WIDE CONCRETE WALKS WITH MAXIMUM 2% CROSS SLOPE TO CITY OF MARINA P.U. STANDARDS
18.	CHARGING STATION EQUIPMENT ENCLOSURE AREA
19.	LANDSCAPE AREA

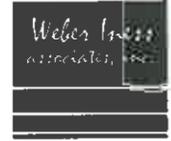
REVISIONS	
1	FEB. 24, 2015
2	APRIL 1, 2015
3	APRIL 8, 2015
4	APRIL 13, 2015
5	APRIL 21, 2015
6	MAY 4, 2015
7	MAY 19, 2015



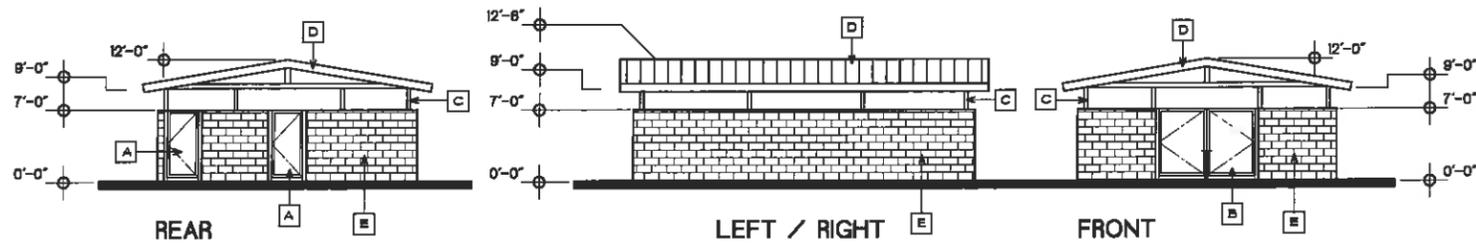
**GENERAL INFORMATION**  
 JOB ADDRESS : SWC SECOND AVENUE AND GENERAL STILLWELL  
 A.P.N. : 031-282-24 THROUGH 031-282-27  
 OWNER : SKN PROPERTIES  
 540 EL DORADO STREET  
 MONTEREY, CALIF. 93940  
 ARCHITECT : WEBER INESS ASSOCIATES  
 6730 N. WEST AVE. SUITE III  
 FRESNO, CA 93711  
 PHONE : (559) 278-0900

**SITE PLAN**  
 SCALE 1" = 30'-0"

BUILDING AREA = 30,994 SQ. FT.  
 SITE AREA = 3.7 ACRES OR 161,172 SQ.FT.  
 ON SITE PARKING  
 STANDARD 9'-0"x19'-0" = 143 STALLS  
 COMPACT 8'-6"x16'-0" = 24 STALLS  
 TOTAL ON SITE PARKING = 167 STALLS  
 5.4 / 1000 PARKING RATIO



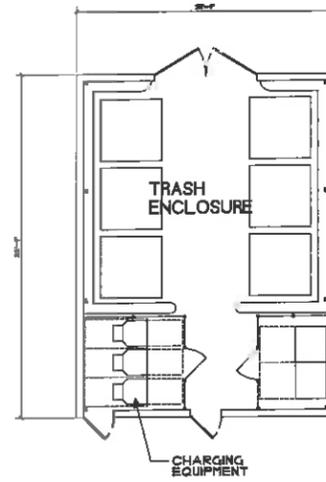
6730 N. West Suite III  
 Fresno, Ca 93711  
 559-216-0100  
 DATE: MAR. 4, 2015  
 JOB NO.: 1160  
**A-1**  
 OF SHEETS



### EXTERIOR ELEVATIONS - COMMON TRASH

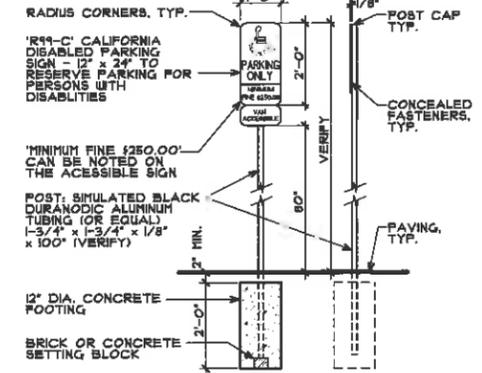
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE - □	
A.	METAL GATE : SHERMAN WILLIAMS - SW T103 EARTHEN JUG
B.	DOUBLE METAL GATES : SHERMAN WILLIAMS - SW T103 EARTHEN JUG
C.	STEEL COLUMN : SHERMAN WILLIAMS - SW T504 KEYSTONE GREY
D.	METAL ROOF (MATCH BLDG. 'B') : METAL SALES 'STORM GREY'
E.	SPLIT FACE CONCRETE BLOCK.



### TRASH ENCLOSURE

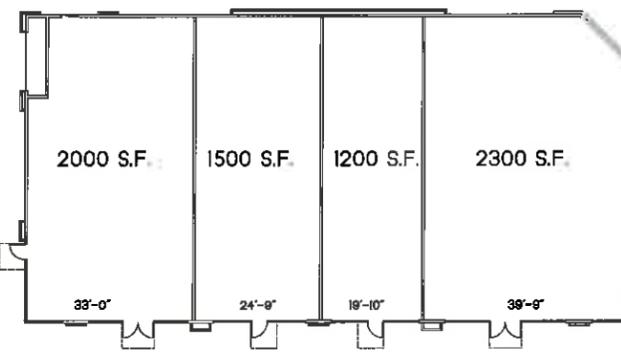
SCALE 1/8" = 1'-0"



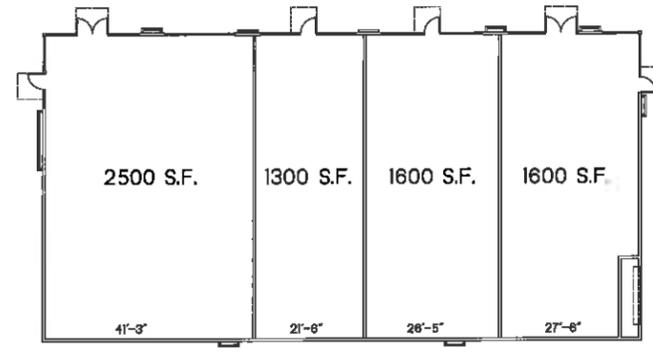
### DETAIL 1 A-2

SCALE: 1/2" = 1'-0"

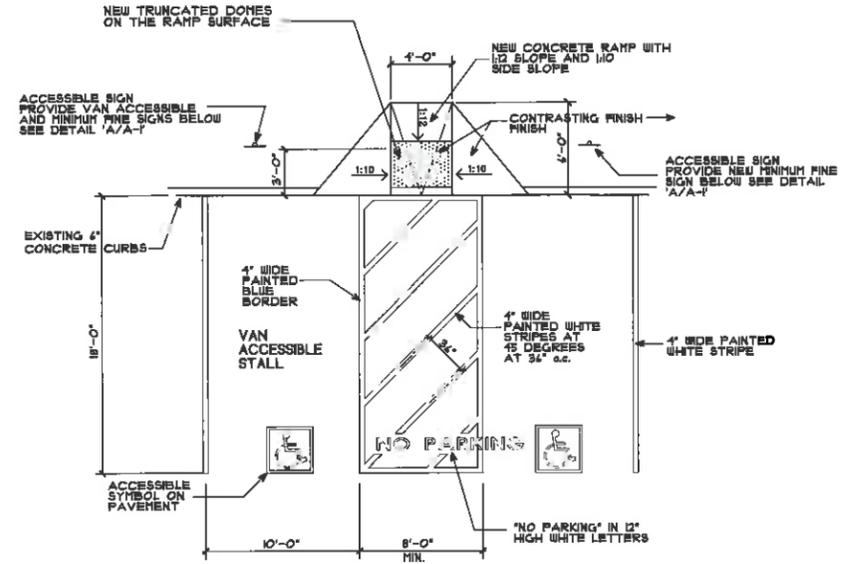
REVISIONS	
△	APRIL 13, 2015
△	MAY 21, 2015
△	
△	



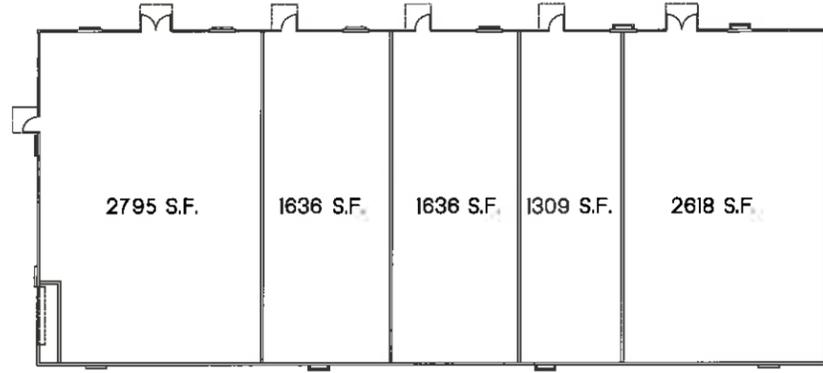
FLOOR PLAN - BLDG. A 7000 S.F.  
SCALE: 1/16" = 1'-0"



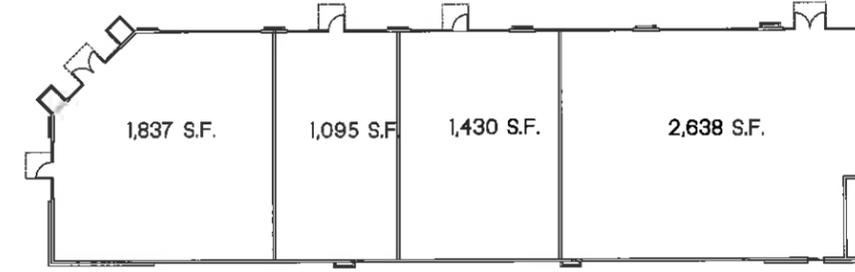
FLOOR PLAN - BLDG. B 7000 S.F.  
SCALE: 1/8" = 1'-0"



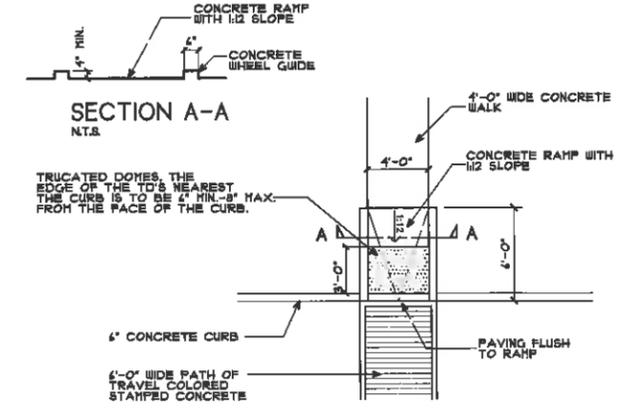
ACCESSIBLE PARKING STALL 2 A-2  
SCALE: 3/16" = 1'-0"



FLOOR PLAN - BLDG. C 9994 S.F.  
SCALE: 1/8" = 1'-0"



FLOOR PLAN - BLDG. D 7000 S.F.  
SCALE: 1/8" = 1'-0"



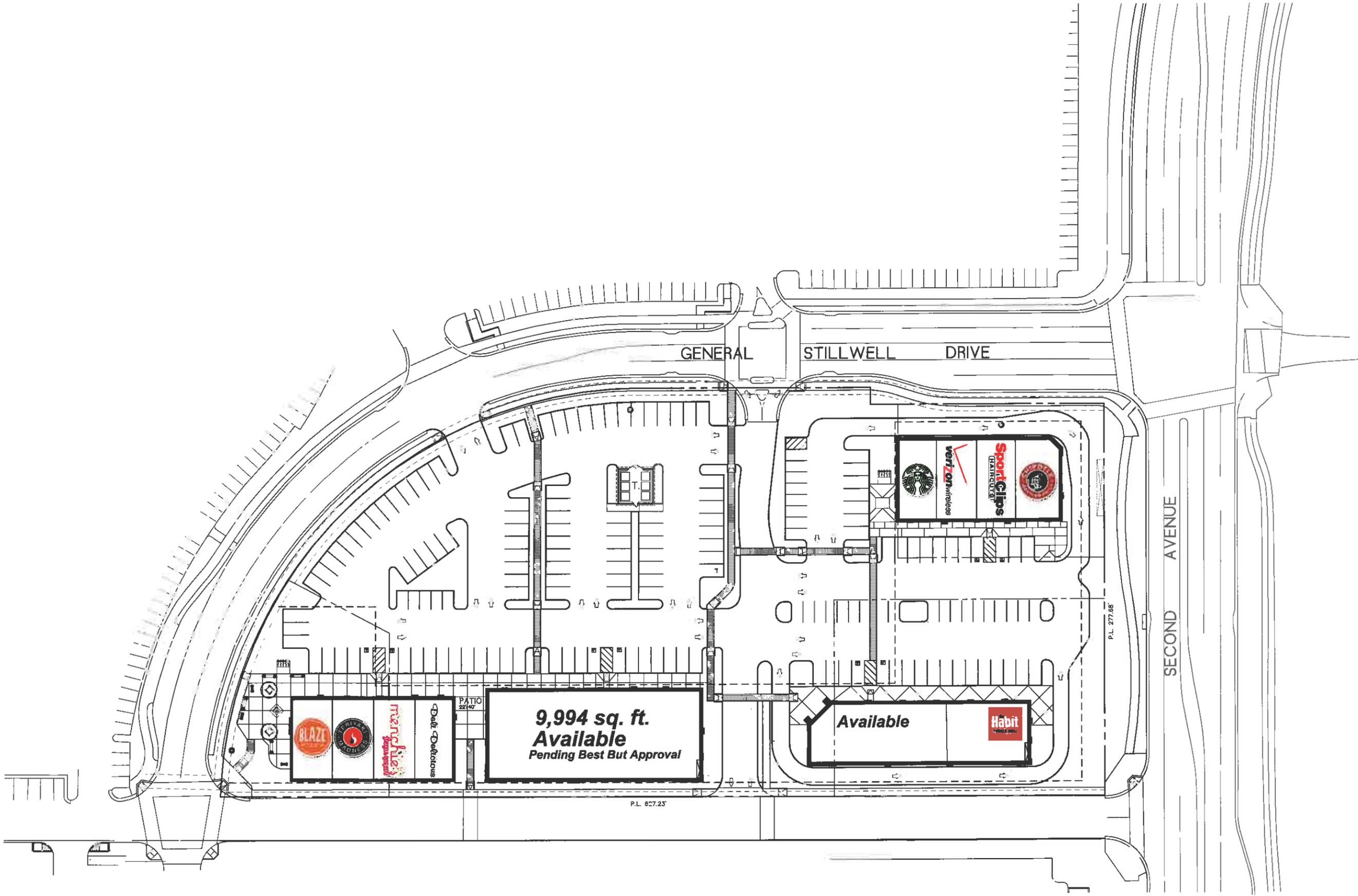
ACCESSIBLE RAMP 3 A-2  
SCALE: 3/16" = 1'-0"



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JOB NO.: 1480  
**A-2**  
OF SHEETS

REVISIONS	
△	APRIL 15, 2015
△	
△	



**SITE PLAN** ↑  
SCALE 1" = 30'-0"

**TENANT LOCATION PLAN**



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associates, inc.

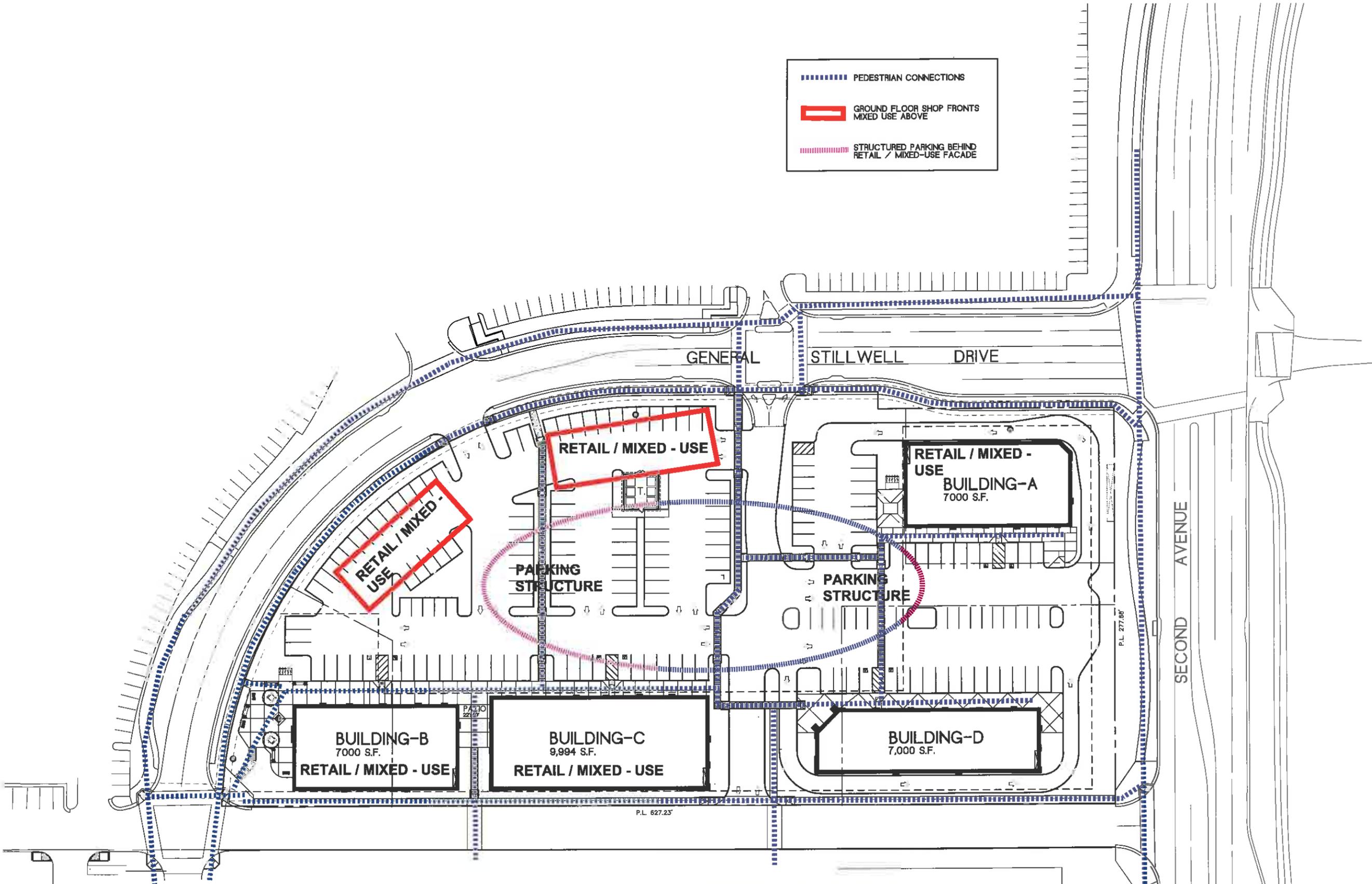
4730 N. West Suite III  
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DATE: JAN. 27, 2015  
JOB NO.: H50

**A-3**  
OF SHEETS

REVISIONS	
1	APRIL 15, 2018
2	
3	

■■■■■■■■■■ PEDESTRIAN CONNECTIONS  
■■■■■■■■■■ GROUND FLOOR SHOP FRONTS MIXED USE ABOVE  
■■■■■■■■■■ STRUCTURED PARKING BEHIND RETAIL / MIXED-USE FACADE



**COMMUNITY DESIGN STRATEGY**  
**SITE PLAN**

SCALE: 1" = 30'-0"

FUTURE BUILDINGS AND PARKING STRUCTURE IF WARRANTED BY MARKET



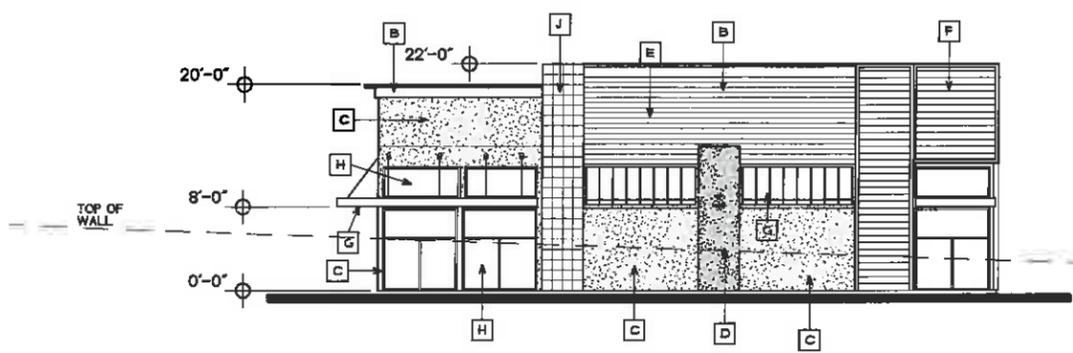
Walter Iness  
 associates, inc.

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 Fresno, Ca 93711  
 559-214-0100

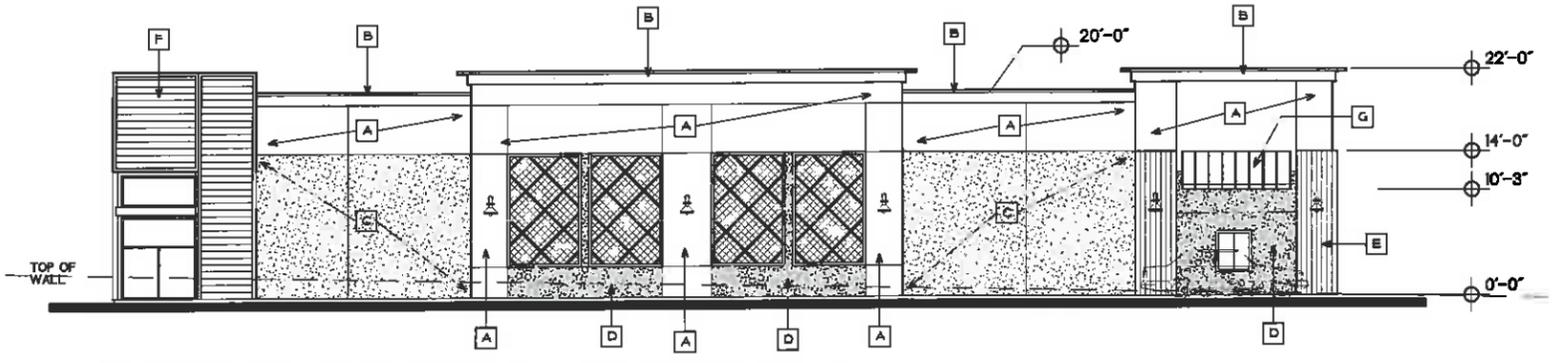
DATE: JAN. 21, 2015  
 JOB NO.: 1450

**A-4**  
 OF SHEETS

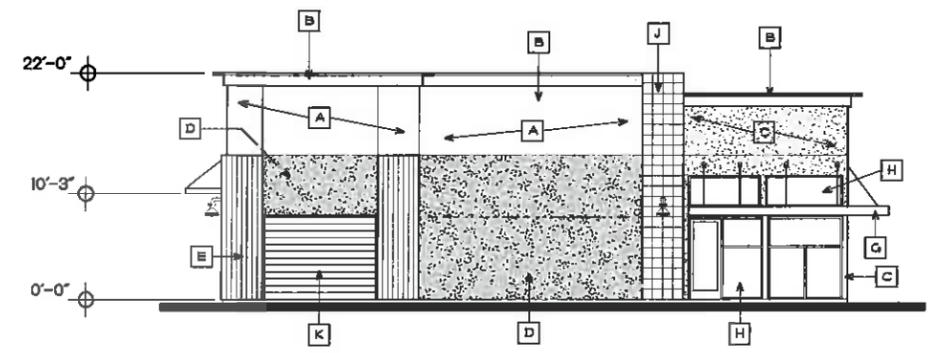
REVISIONS	
1	APRIL 13, 2015
2	MAY 4, 2015
3	



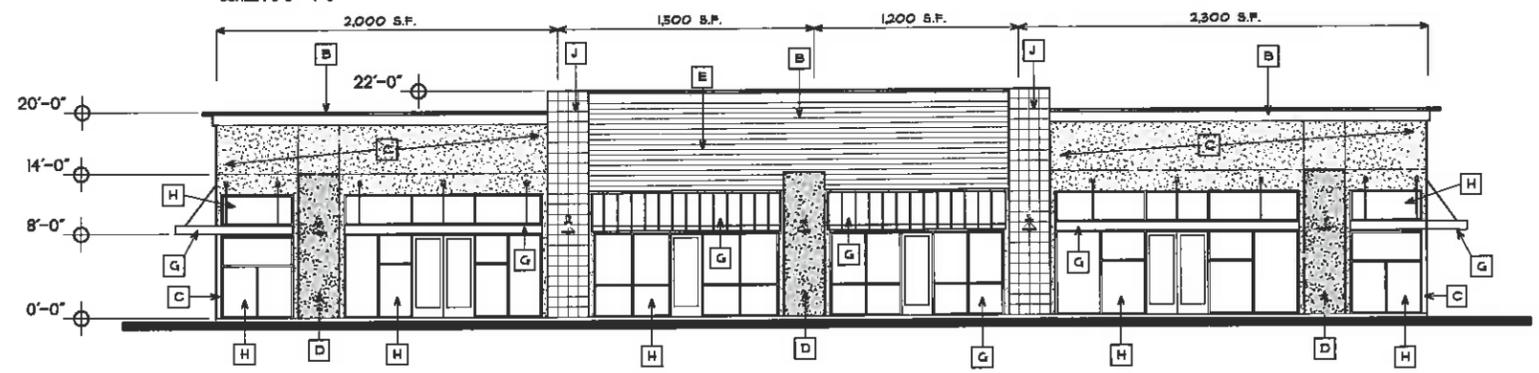
**EAST ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"

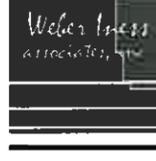


**WEST ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1 : SHERMAN WILLIAMS - SW 1035 AESTHETIC WHITE
B.	STUCCO #2 : SHERMAN WILLIAMS - SW 1121 KOI POND
C.	STUCCO #3 : SHERMAN WILLIAMS - SW 1126 GREEN SPROUT
D.	STUCCO #4 : SHERMAN WILLIAMS - SW 4436 HUSKEY ORANGE
E.	WOOD SIDING : IPE SIDING "BRAZILIAN WALNUT"
F.	METAL SIDING : METAL SALES "WEATHERED COPPER"
G.	METAL AWNING : METAL SALES "WEATHERED COPPER"
H.	GLASS STOREFRONT : MULLIONS - METALLIC SILVER
J.	12" x 12" DECO TILE : DALTILE FRANCISCAN SLATE - WOODLAND VERDE
K.	METAL ROLL-UP DOOR : SHERMAN WILLIAMS - SW 4436 HUSKEY ORANGE



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JOB NO.: 1150

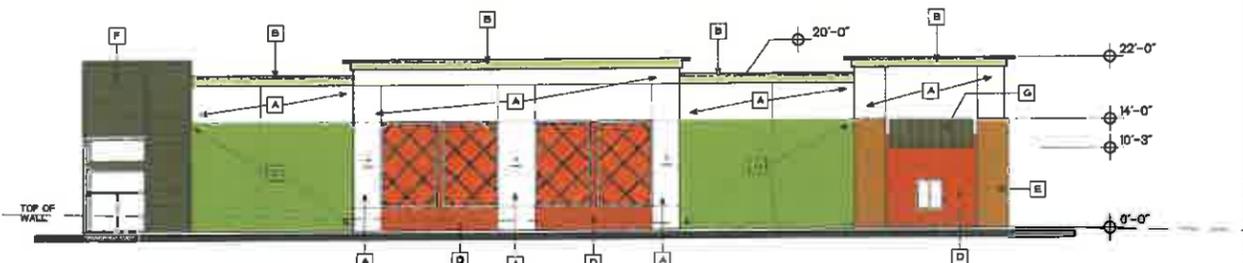
**A-5**  
OF SHEETS

**EXTERIOR ELEVATIONS BUILDING - A**

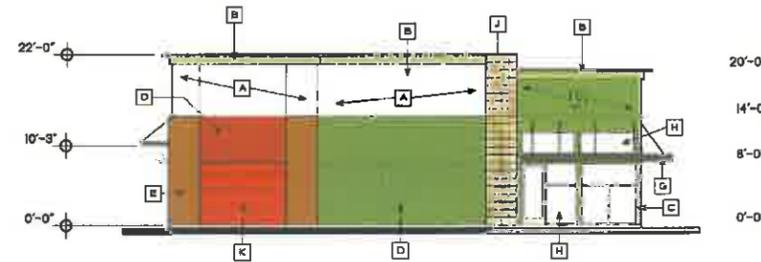
REVISIONS	
△	APRIL 13, 2015
△	MAY 6, 2015
△	



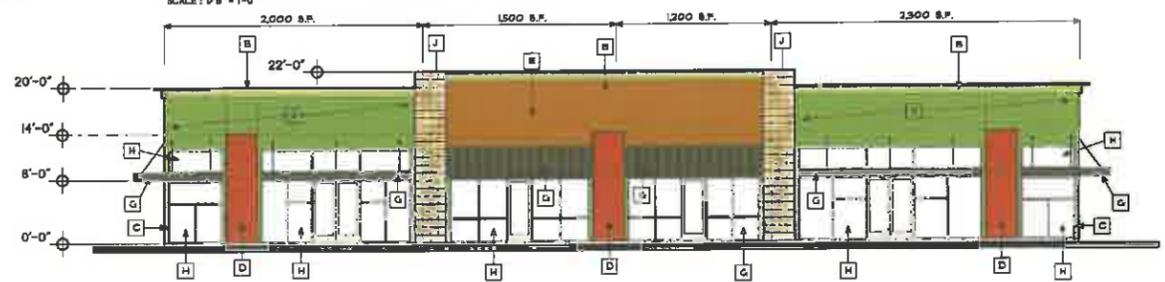
**EAST ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - BUILDING A**  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1; SHERMAN ELLIANS - 81 1035 AESTHETIC WHITE
B.	STUCCO #2; SHERMAN ELLIANS - 81 1121 KOK POND
C.	STUCCO #3; SHERMAN ELLIANS - 81 1128 GREEN SPROUT
D.	STUCCO #4; SHERMAN ELLIANS - 53 4436 HUSKEY ORANGE
E.	WOOD SIDING; IPE SIDING "BRAZILLIAN WALNUT"
F.	METAL SIDING; METAL SALES "WEATHERED COPPER"
G.	METAL SIDING; METAL SALES "WEATHERED COPPER"
H.	GLASS STOREFRONT; MULLIONS - METALLIC SILVER
J.	12" x 12" DECO TILE; DAL TILE FRANCISCAN SLATE - WOODLAND VERDE
K.	METAL ROLL-UP DOOR; SHERMAN ELLIANS - 53 4436 HUSKEY ORANGE



James Leroy Smith  
Architect  
1950 N. Blvd. Suite #2  
Fremont, CA 94538  
510-216-0100

DATE: JAN. 21, 2015  
JOB NO: MBO

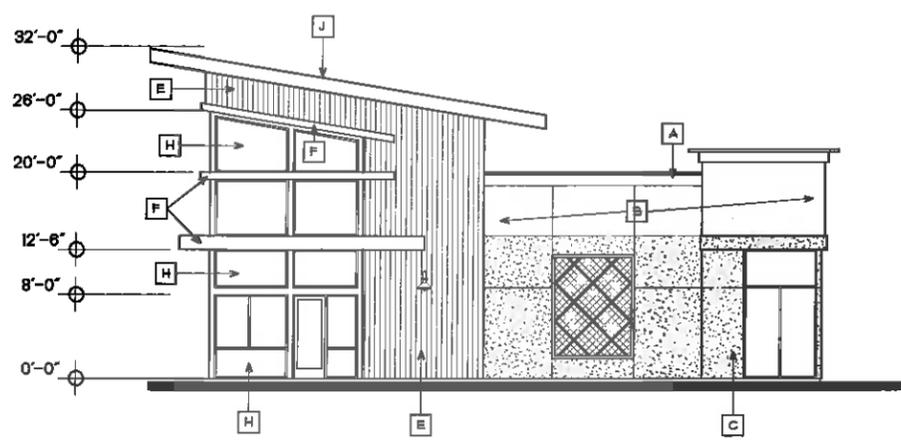
**A-5**  
OF SHEETS

EXTERIOR ELEVATIONS BUILDING - A

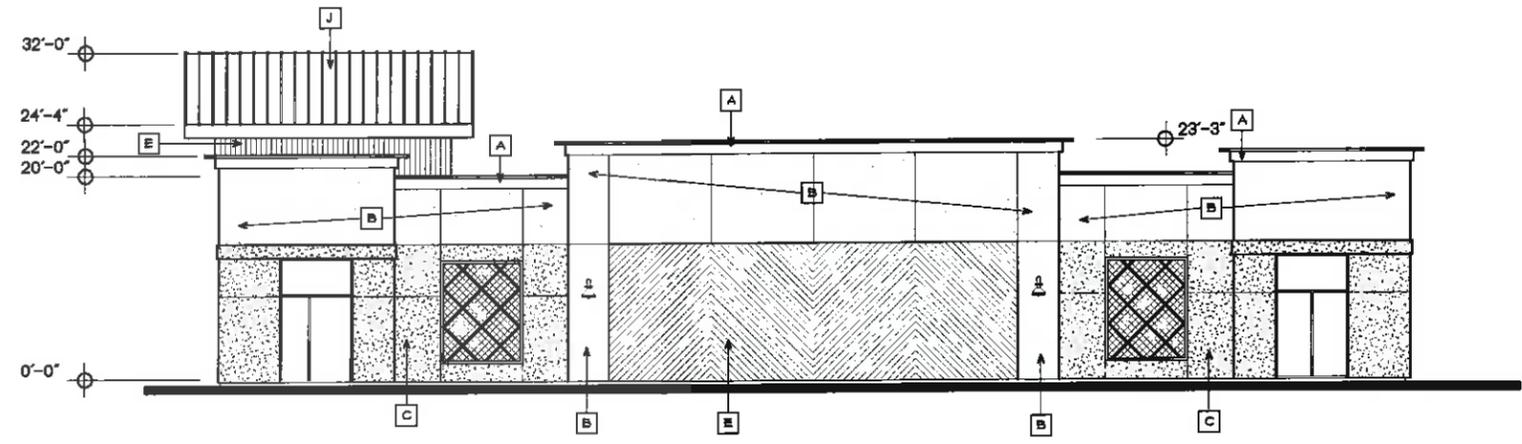
# SHOPS @ THE DUNES MARINA, CA

SKN PROPERTIES  
REVISION #5: 05/21/15

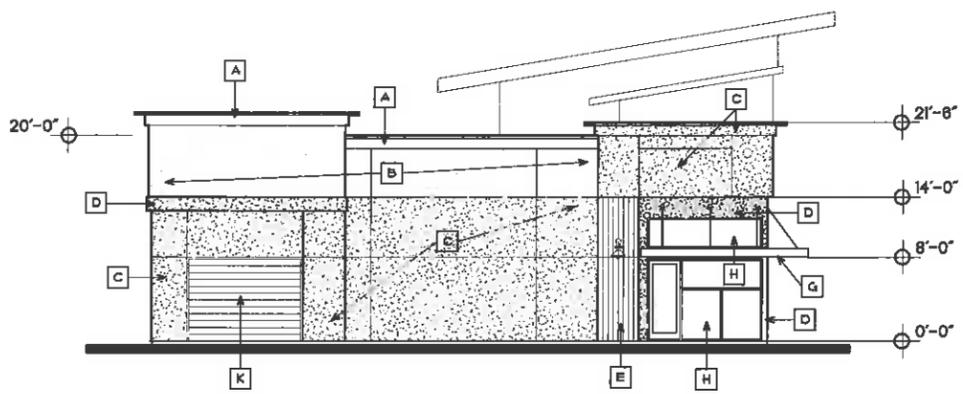
REVISIONS	
1	APRIL 13, 2015
2	MAY 4, 2015
3	



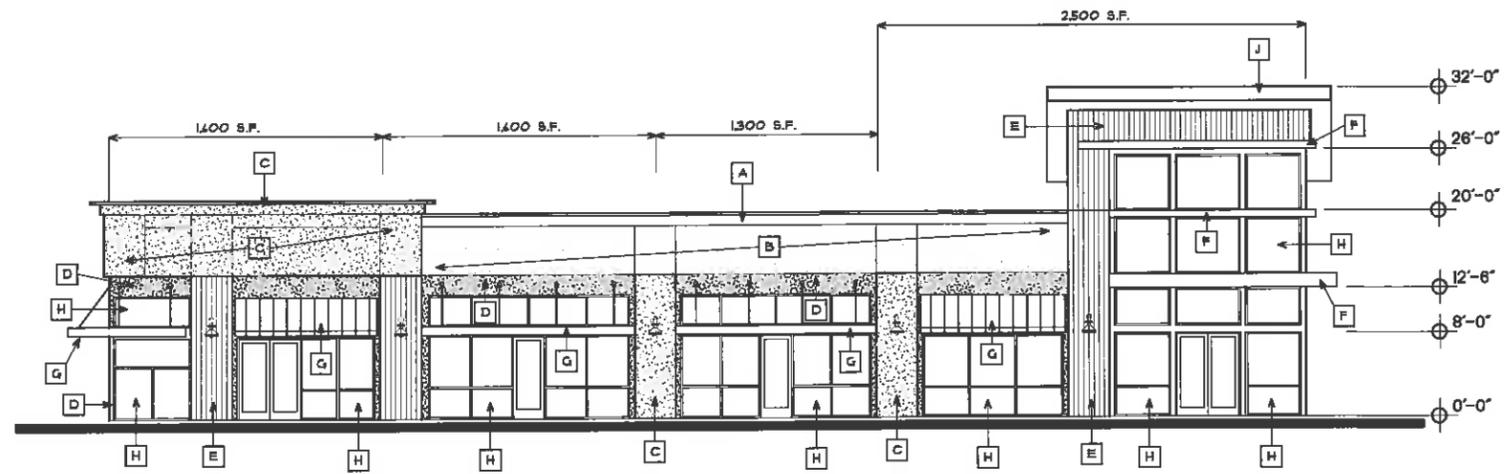
**WEST ELEVATION - BUILDING B**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - BUILDING B**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION - BUILDING B**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - BUILDING B**  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1 : SHERMAN WILLIAMS - SW 1035 AESTHETIC WHITE
B.	STUCCO #2 : SHERMAN WILLIAMS - SW 1138 CARGO PANTS
C.	STUCCO #3 : SHERMAN WILLIAMS - SW 1128 GREEN SPROUT
D.	STUCCO #3 : SHERMAN WILLIAMS - SW 6314 TORCHLIGHT
E.	WOOD SIDING : IPE SIDING "BRAZILLIAN WALNUT"
F.	METAL AWNING : MILL FINISH
G.	METAL AWNING : METAL SALES "COLONIAL RED"
H.	GLASS STOREFRONT : MULLIONS - MILL FINISH
J.	METAL ROOF: METAL SALES "COLONIAL RED"
K.	METAL ROLL-UP DOOR : SHERMAN WILLIAMS - SW 6314 TORCHLIGHT



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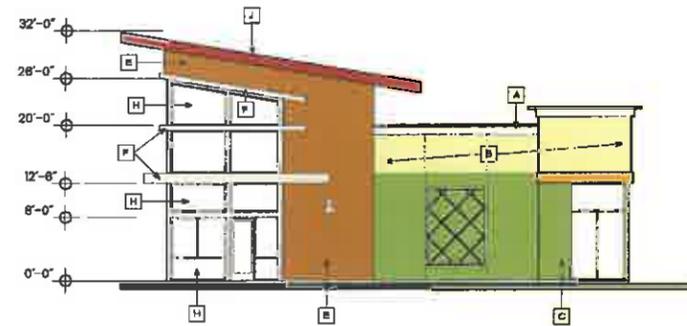
DATE: JAN. 21, 2015  
JOB NO.: H160

**A-6**  
OF SHEETS

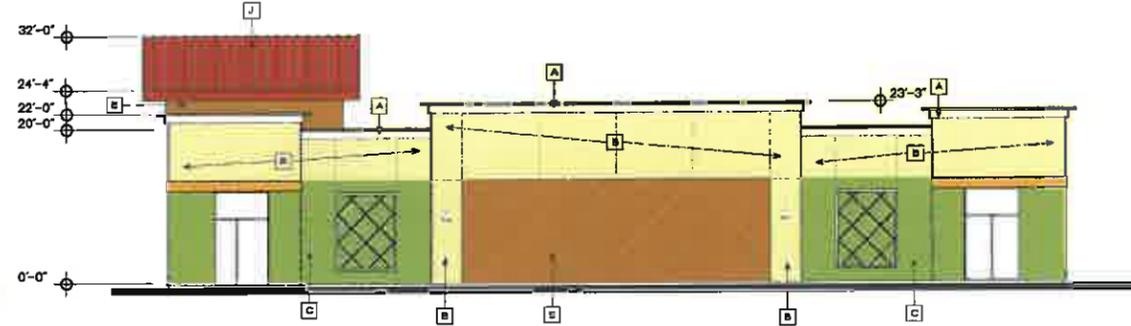
**EXTERIOR ELEVATIONS BUILDING - B**

REVISIONS

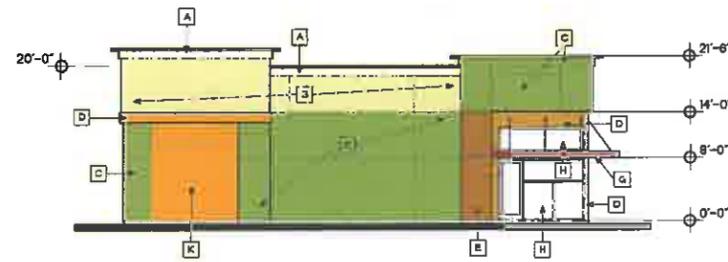
△	APRIL 3, 2015
△	MAY 4, 2015
△	



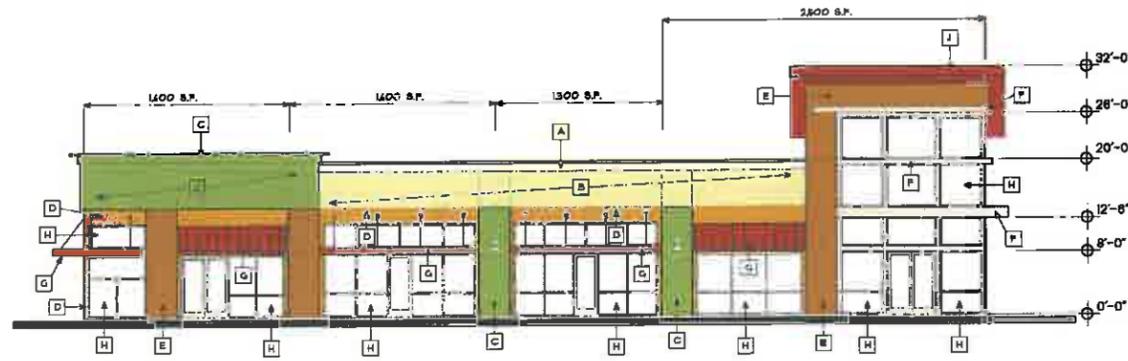
WEST ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"



EAST ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - BUILDING B  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1; SHERMAN WILLIAMS - SS 1035 AESTHETIC WHITE
B.	STUCCO #2; SHERMAN WILLIAMS - SS 1188 CARGO PANTS
C.	STUCCO #3; SHERMAN WILLIAMS - SS 1128 GREEN SPROUT
D.	STUCCO #3; SHERMAN WILLIAMS - SS 4574 TORCHLIGHT
E.	WOOD SIDING; IPE SIDING "BRAZILIAN WALNUT"
F.	METAL SIDING; HILL FINISH
G.	METAL SIDING; METAL SIDING "COLONIAL RED"
H.	GLASS STOREFRONT; MULLIONS - HILL FINISH
J.	METAL ROOF; METAL SIDING "COLONIAL RED"
K.	METAL ROLL-UP DOOR; SHERMAN WILLIAMS - SS 4574 TORCHLIGHT



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DATE: JAN. 27, 2015  
JOB NO.: 1480

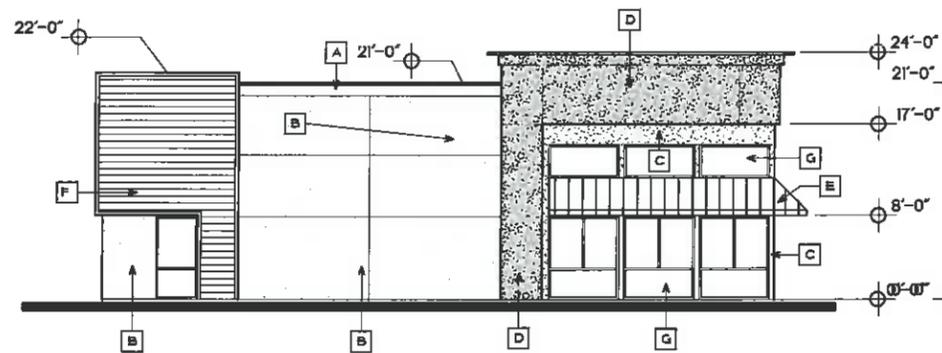
A-6  
OF SHEETS

EXTERIOR ELEVATIONS BUILDING - B

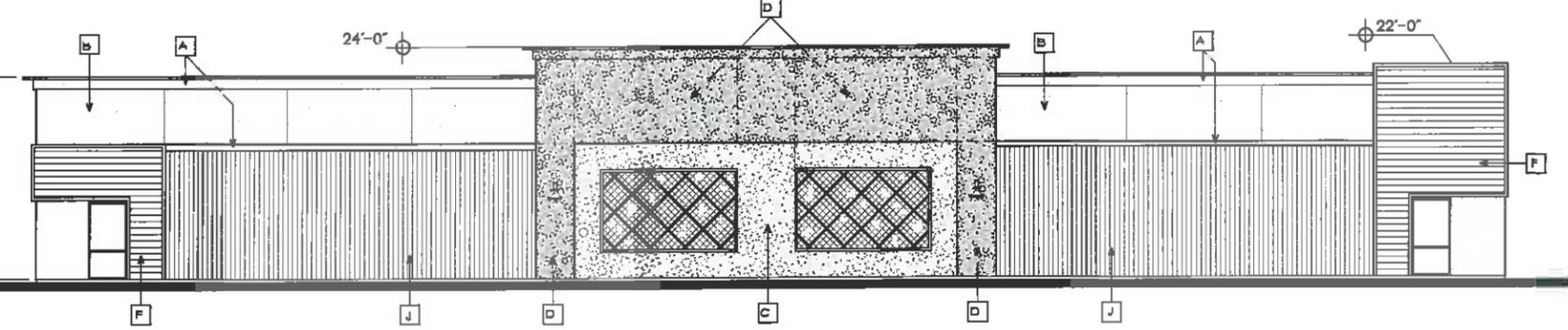
SHOPS @ THE DUNES  
MARINA, CA

SKN PROPERTIES  
REVISION #5: 05/21/15

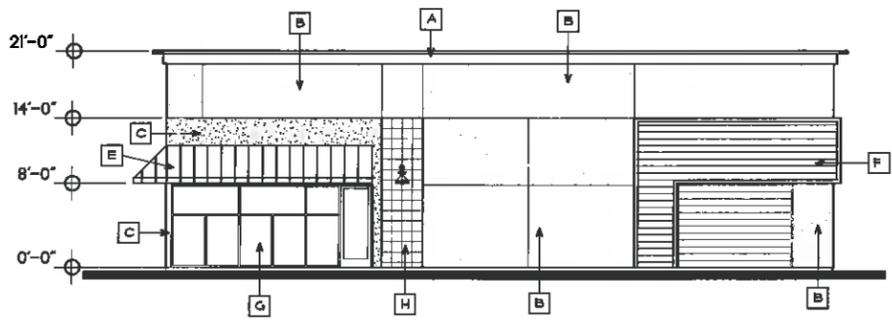
REVISIONS	
1	APRIL 13, 2015
2	MAY 6, 2015
3	



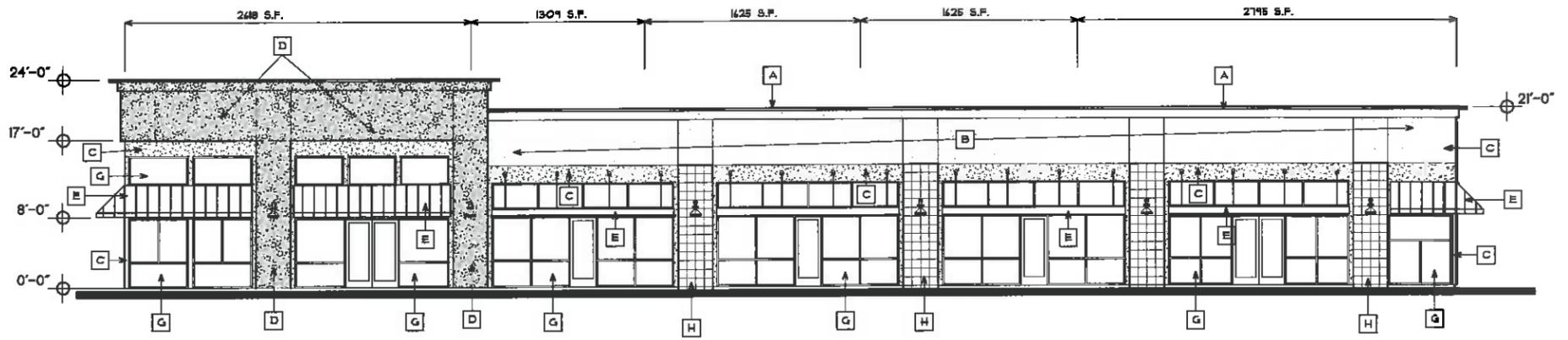
**EAST ELEVATION - BUILDING C**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - BUILDING C**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION - BUILDING C**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - BUILDING C**  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1 : SHERMAN WILLIAMS - SW 7035 AESTHETIC WHITE
B.	STUCCO #2 : SHERMAN WILLIAMS - SW 7121 KOI POND
C.	STUCCO #3 : SHERMAN WILLIAMS - SW 4374 TORCHLIGHT
D.	STUCCO #4 : SHERMAN WILLIAMS - SW 4434 HUSKY ORANGE
E.	METAL AWNINGS: METALLIC SILVER
F.	METAL SIDING : METAL SALES "WEATHERED COPPER"
G.	GLASS STOREFRONT : MULLIONS - METALLIC SILVER
H.	12" x 12" DECO TILE : DAL TILE FRANCISCAN SLATE - WOODLANDE VERDE
J.	WOOD SIDING : IPE SIDING "BRAZILIAN WALNUT"



Welter Ingersoll  
associates, llc

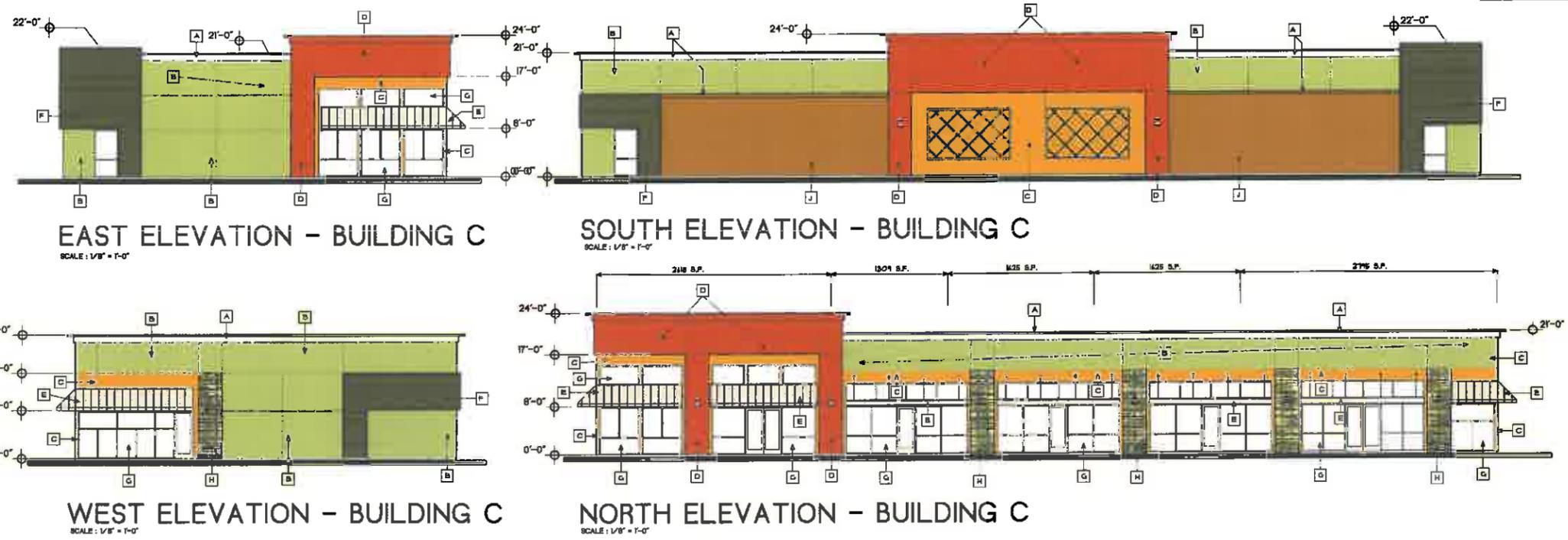
4730 N. West Suite 111  
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DATE: JAN 21, 2015  
JOB NO.: MEO

**A-7**  
OF SHEETS

**EXTERIOR ELEVATIONS BUILDING - C**

REVISIONS	
△	APRIL 3, 2015
△	MAY 4, 2015
△	
△	
△	



COLOR SCHEDULE □	
A.	STUCCO #1 : SHERMAN WILLIAMS - SW 1035 AESTHETIC WHITE
B.	STUCCO #2 : SHERMAN WILLIAMS - SW 1021 KOI POND
C.	STUCCO #3 : SHERMAN WILLIAMS - SW 4374 TORCHLIGHT
D.	STUCCO #4 : SHERMAN WILLIAMS - SW 4436 HUSKY ORANGE
E.	METAL FINISHES: METALLIC SILVER
F.	METAL SIDING : METAL SALES "WEATHERED COPPER"
G.	GLASS STOREFRONT : MULLIONS - METALLIC SILVER
H.	12" x 12" DECO TILE : DALTILE FRANCISCAN SLATE - BOODLANDE VERDE
J.	WOOD SIDING : IPE SIDING "BRAZILIAN WALNUT"



Walter Inoué  
www.walterinoue.com

LTCO H. Kent, Suite B  
Palo Alto, CA 94301  
888-211-0700

DATE: JAN 21, 2015  
JOB NO.: H50

**A-1**  
OF SHEETS

EXTERIOR ELEVATIONS BUILDING - C

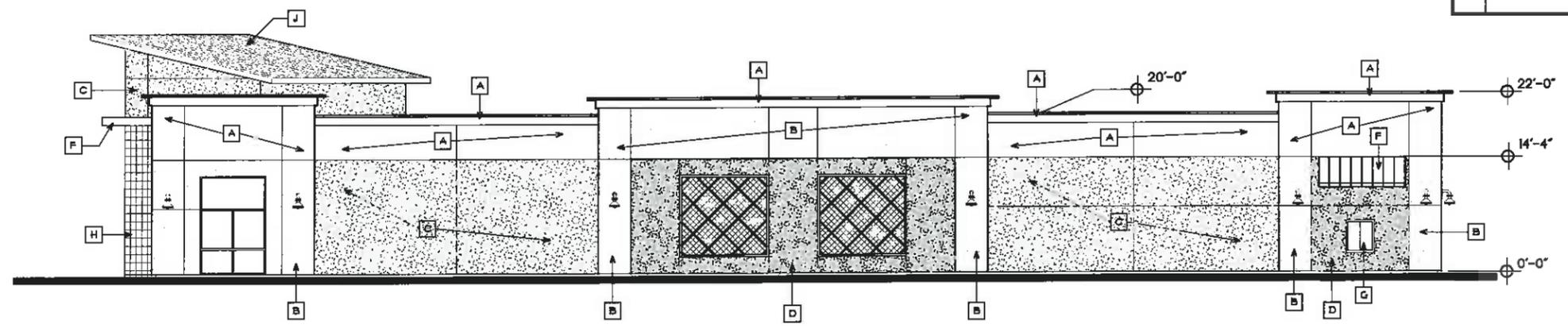
# SHOPS @ THE DUNES MARINA, CA

SKN PROPERTIES  
REVISION #5: 05/21/15

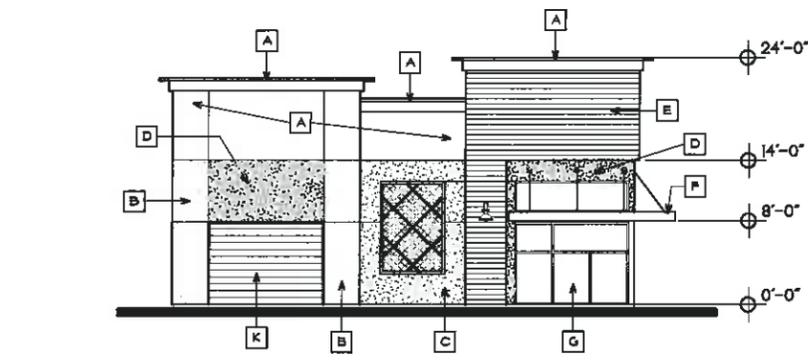
REVISIONS	
1	APRIL 15, 2016
2	MAY 4, 2016
3	



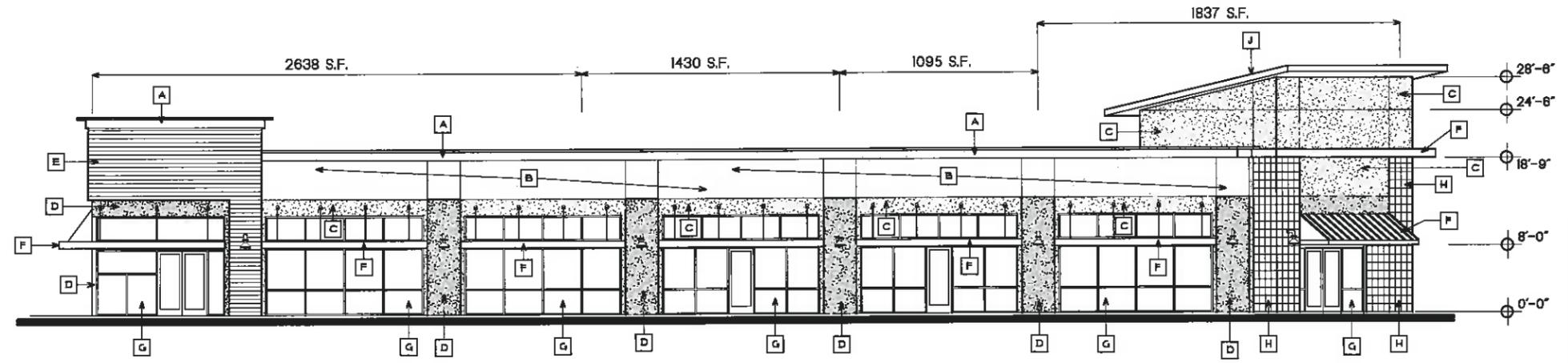
**WEST ELEVATION - BUILDING D**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION - BUILDING D**  
SCALE: 1/8" = 1'-0"

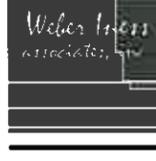


**EAST ELEVATION - BUILDING D**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION - BUILDING D**  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1 : SHERMAN WILLIAMS - SW 1035 AESTHETIC WHITE
B.	STUCCO #2 : SHERMAN WILLIAMS - SW 1138 CARGO PANTS
C.	STUCCO #3 : SHERMAN WILLIAMS - SW 4431 LEAPFROG
D.	STUCCO #4 : SHERMAN WILLIAMS - SW 4434 HUSKY ORANGE
E.	METAL SIDING : METAL SALES "METALLIC SILVER"
F.	METAL AWNING : METAL SALES "METALLIC SILVER"
G.	GLASS STOREFRONT : MULLIONS - "METALLIC SILVER"
H.	12" x 12" DECO TILE; DAL TILE FRANCISCAN SLATE - WOODLAND VERDE
J.	METAL ROOF : METAL SALES "METALLIC SILVER"
K.	METAL ROLL UP DOOR : SHERMAN WILLIAMS - SW 4434 HUSKY ORANGE



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DATE: JAN. 21, 2016  
JOB NO.: H50

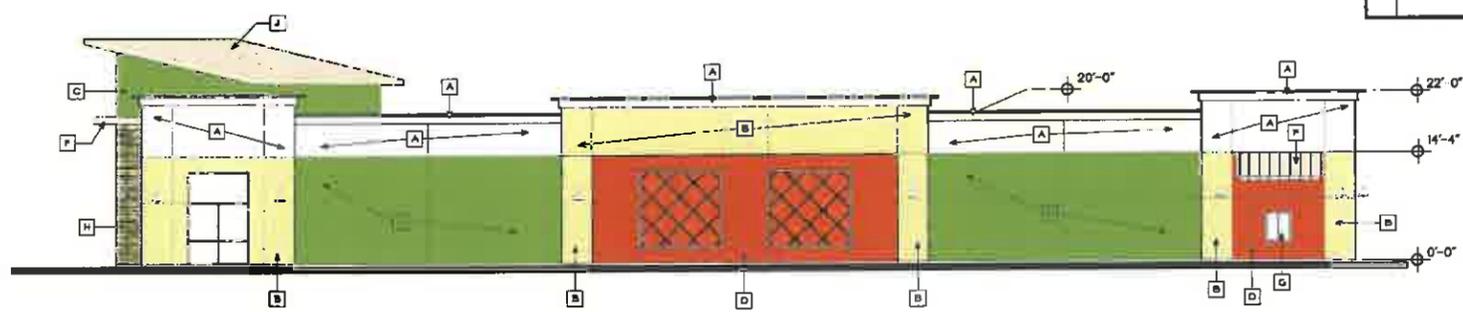
**A-8**  
OF SHEETS

**EXTERIOR ELEVATIONS BUILDING - D**

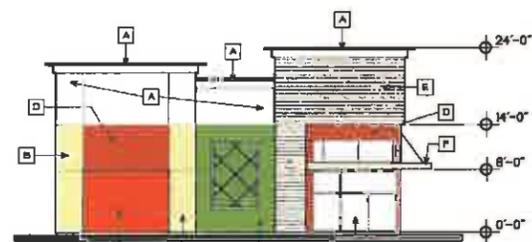
REVISIONS	
△	APRIL 13, 2008
△	MAY 4, 2008
△	
△	
△	



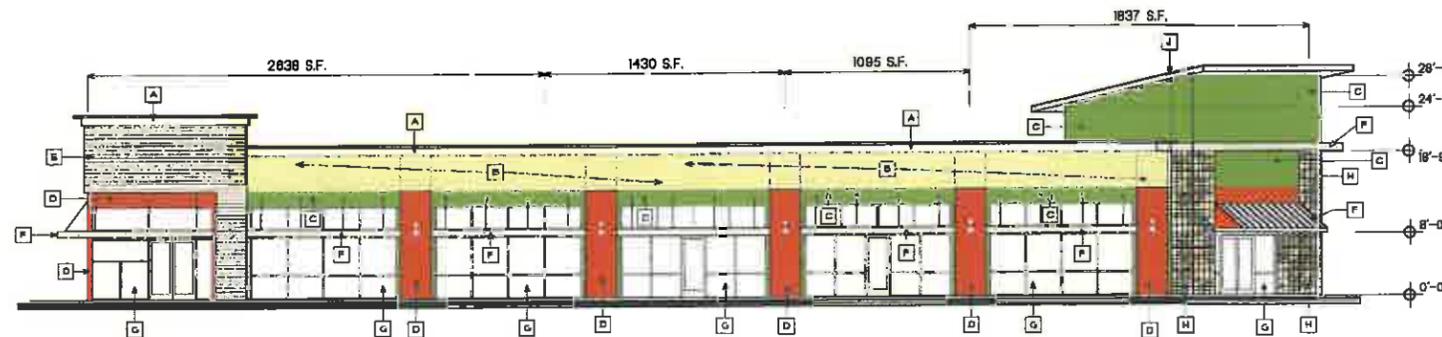
WEST ELEVATION - BUILDING D  
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION - BUILDING D  
SCALE: 1/8" = 1'-0"



EAST ELEVATION - BUILDING D  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION - BUILDING D  
SCALE: 1/8" = 1'-0"

COLOR SCHEDULE	
A.	STUCCO #1 : SHERMAN WILLIAMS - SS 1036 AESTHETIC WHITE
B.	STUCCO #2 : SHERMAN WILLIAMS - 60 1138 CARGO PANTS
C.	STUCCO #3 : SHERMAN WILLIAMS - 50 4131 LEAPROG
D.	STUCCO #4 : SHERMAN WILLIAMS - 50 4434 HUSKY ORANGE
E.	METAL SIDING : METAL SALES "METALLIC SILVER"
F.	METAL SIDING : METAL SALES "METALLIC SILVER"
G.	GLASS STOREFRONT : MULLIONS - "METALLIC SILVER"
H.	3" x 12" DECO T&B; DALY'S FRANCISCAN SLATE - WOODLAND VERDE
J.	METAL ROOF : METAL SALES "METALLIC SILVER"
K.	METAL ROLL UP DOOR : SHERMAN WILLIAMS - 50 4434 HUSKY ORANGE



1790 N. Union, Suite 10  
Pasadena, CA 91103  
818-216-0100

DATE: JAN. 21, 2008  
JOB NO. H80

**A-8**  
OF SHEETS

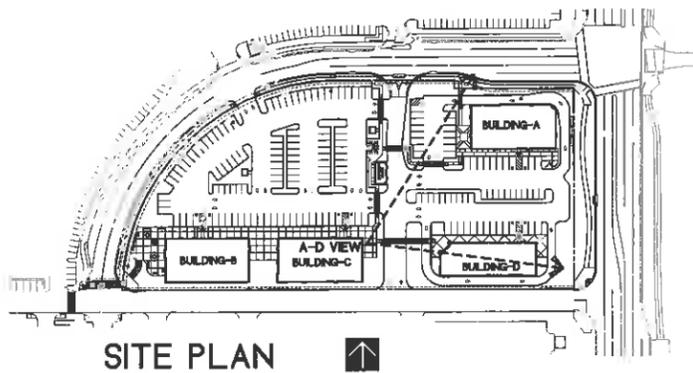
EXTERIOR ELEVATIONS BUILDING - D

**SHOPS @ THE DUNES  
MARINA, CA**

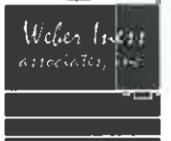
**SKN PROPERTIES**  
REVISION #5: 05/21/15



REVISIONS	
△	
△	
△	



SITE PERSPECTIVE A-D

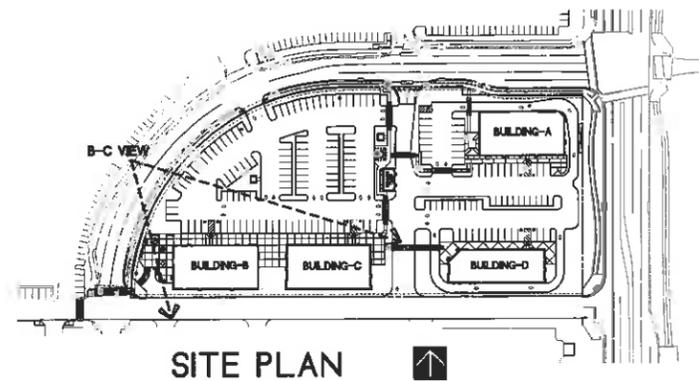


4130 N. West Suite II  
 Fresno, Ca 93711  
 559-214-0100

DATE: JAN. 27, 2016  
 JOB NO.: 1450

**A-10**  
 OF SHEETS

REVISIONS	
△	
△	
△	



SITE PERSPECTIVE B-C



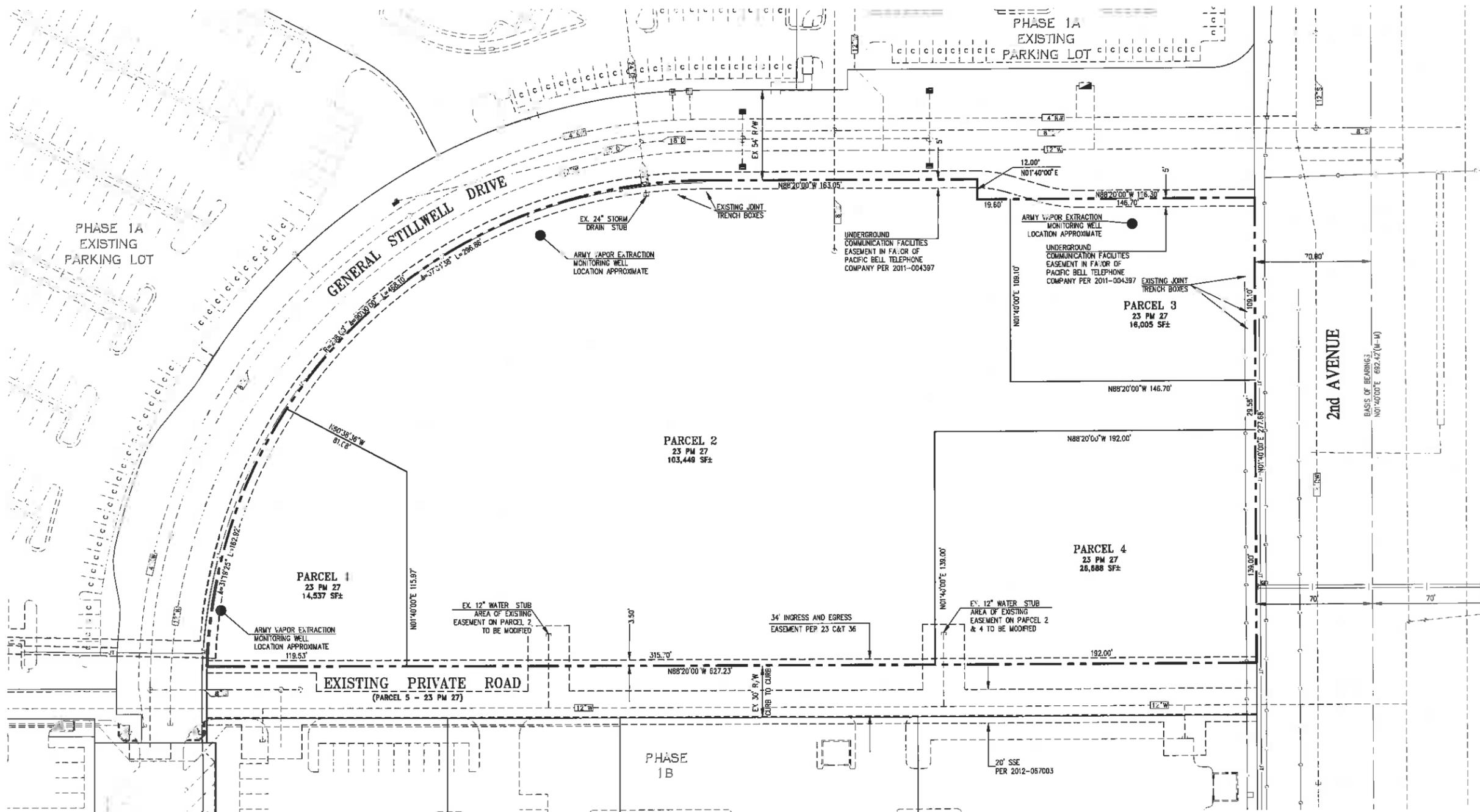
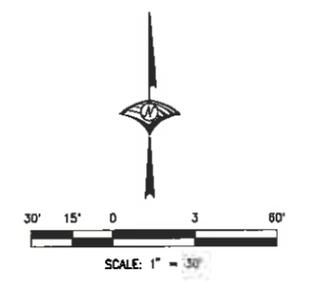
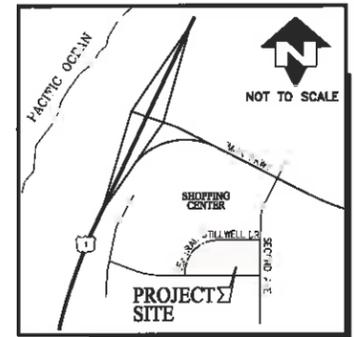
4130 N. West Gate II  
 Fresno, Ca 93711  
 554-216-0100

DATE: JAN. 21, 2015  
 JOB NO.: 1450

**A-II**  
 OF SHEETS

PARCELS 1-4 (23 PM 27)  
**EXISTING CONDITIONS**  
**THE DUNES ON MONTEREY BAY - PHASE 1B**  
 MARINA COMMUNITY PARTNERS  
 CITY OF MARINA CALIFORNIA  
 JANUARY 2015

LOCATION MAP



**LEGEND**

EXISTING STORM DRAIN	
EXISTING SEWER LINE	
EXISTING WATER LINE	
EXISTING RECYCLED WATER	
EXISTING JOINT TRENCH	
EXISTING GAS MAIN	
EXISTING MANHOLE	
EXISTING DRAIN INLET	
EXISTING WATER BUTTERFLY VALVE AND ACTUATOR	
EXISTING FIRE HYDRANT ASSEMBLY	
EXISTING R.P. BACKFLOW PREVENTER	
EXISTING STREET LIGHT	
EXISTING SIDEWALK RAMP	

**WOOD RODGERS**  
 DEVELOPING INNOVATIVE DESIGN SOLUTIONS  
 4301 HACIENDA DR. STE 100 TEL 925.847.1556  
 PLEASANTON, CA 94588 FAX 925.847.1557

3: \data\2015\2015-Dunes At Monterey Bay\2015-06-08-DUNE-PHASE 1B-EXISTING CONDITIONS MAP-C-1.dwg - 1/17/2015 6:48 PM Kevin Ho...

PARCELS 1 -4 (23 PM 27)  
**PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN**  
**THE DUNES ON MONTEREY BAY - PHASE 1B**

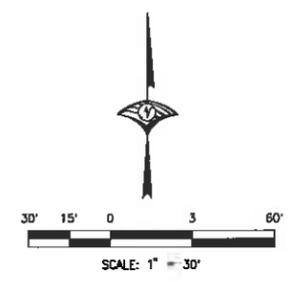
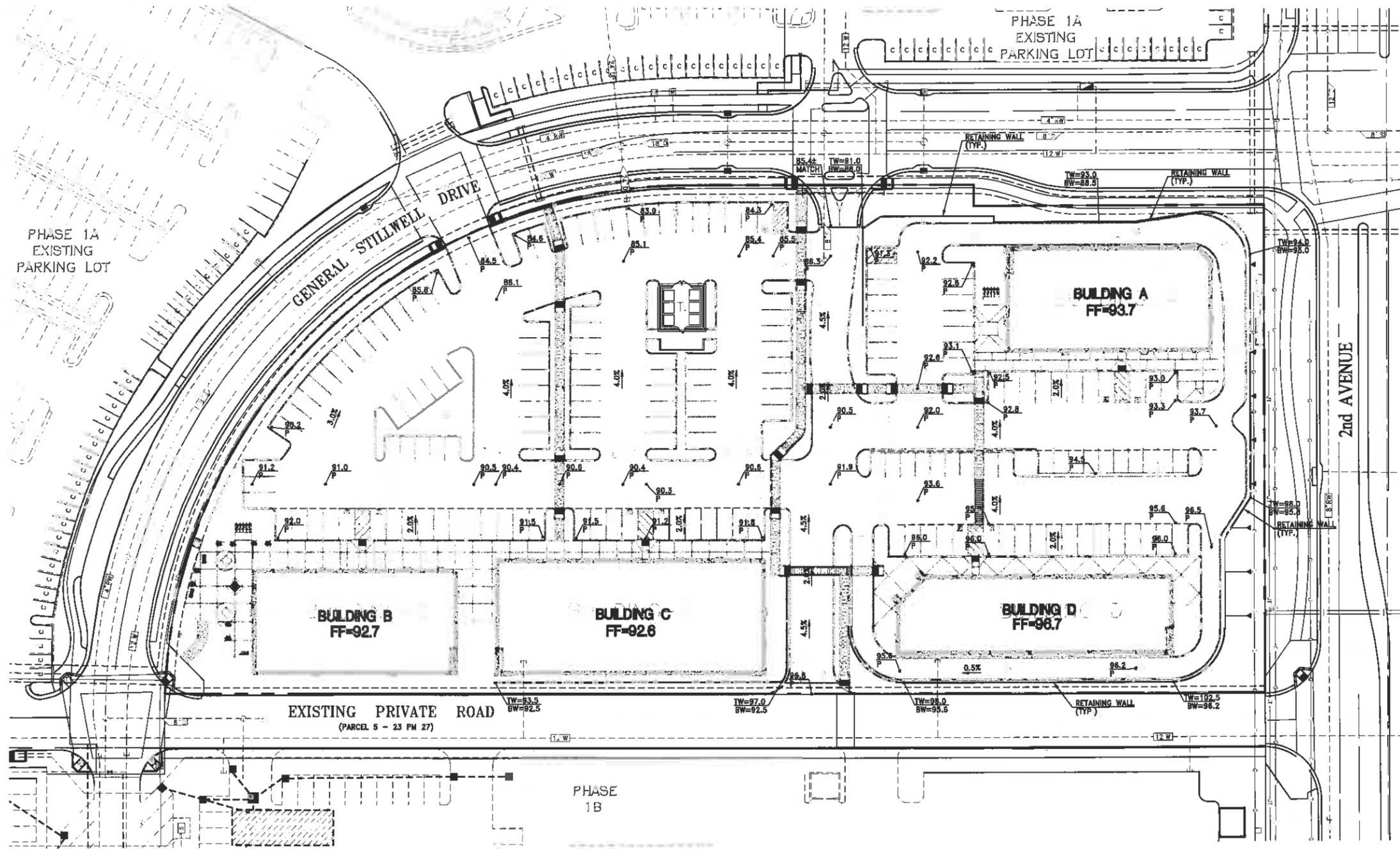
MARINA COMMUNITY PARTNERS

CITY OF MARINA

CALIFORNIA

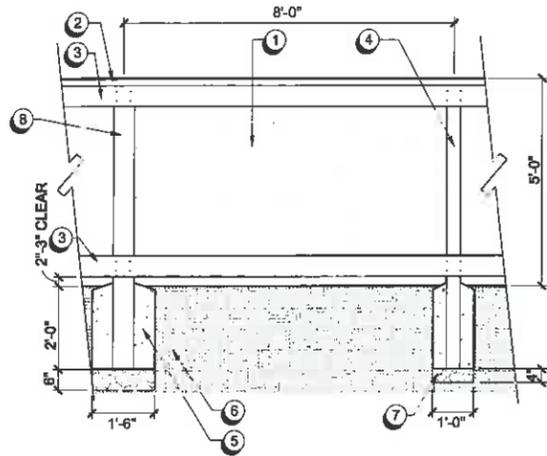
JANUARY 2015

REVISED MAY 2015



PROPOSED	EXISTING
	STORM DRAIN
	SEWER LINE
	WATER LINE
	RECYCLED WATER
	GAS MAIN
	JOINT TRENCH
	MANHOLE
	DRAIN INLET
	WATER BUTTERFLY VALVE AND ACTUATOR
	FIRE HYDRANT ASSEMBLY
	R.P. BACKFLOW PREVENTER
	STREET LIGHT / PARKING LOT LIGHT
	SIDEWALK RAMP
	PAVEMENT ELEVATION
	CONCRETE ELEVATION
	BUILDING FINISHED FLOOR ELEVATION

J:\Users\jrh\Documents\Projects\2015\1B-GRADING-DRAINAGE-UTIL.dwg 5/21/2015 2:51 PM Matt Moch

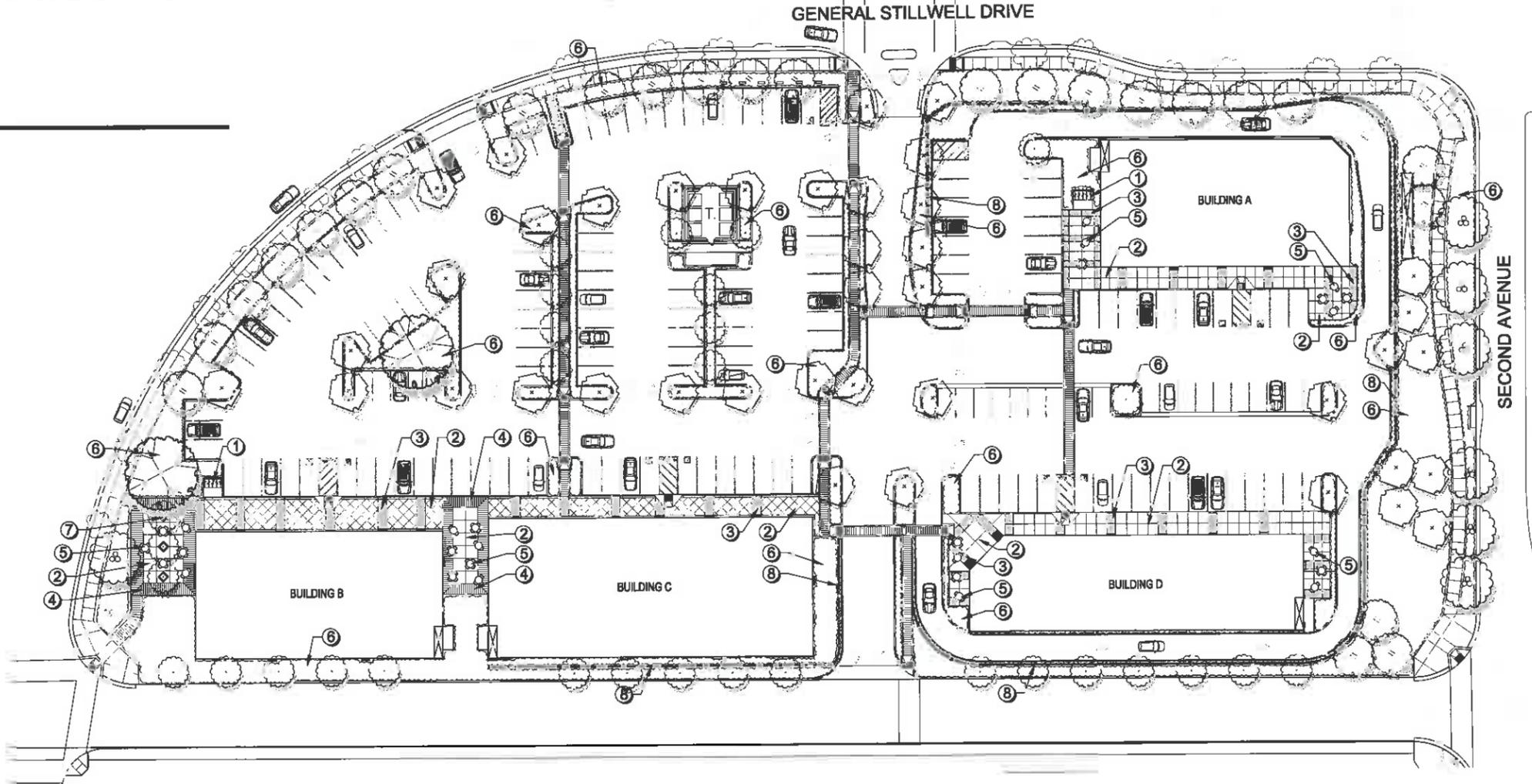


- ① "NON CLIMB" HORSE FENCE 12.5 GAUGE WITH 2" X 4" MESH VERTICAL ATTACH TO INSIDE.
- ② 2x10 DOUG. FIR TOP RAIL
- ③ 2x8 DOUG. FIR
- ④ 4x4 PTDF POST #2 OR BETTER
- ⑤ CONCRETE FOOTING
- ⑥ COMPACTED SUB-GRADE OR ENGINEERED FILL.
- ⑦ DRAIN ROCK
- ⑧ 6x6 PTDF POST #2 OR BETTER AT CORNERS ONLY.

**FENCE RAILING**  
SCALE: 1/2" = 1'-0"

**CONCEPTUAL CALLOUT LEGEND**

- ① BIKE RACKS
- ② SCORED CONCRETE
- ③ DECORATIVE CONCRETE BAND
- ④ DECORATIVE CONCRETE BOARDWALK
- ⑤ PATIO AREA
- ⑥ SHRUB AREA, TYP.
- ⑦ PLANTING POCKET W/ SMALL ACCENT TREE
- ⑧ RETAINING WALL PER CIVIL ENGINEER'S PLANS WITH TUBE STEEL HANDRAIL AND VINES

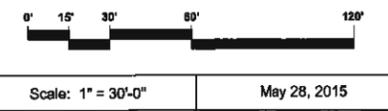


**SKN PROPERTIES**  
540 EL DORADO STREET  
MONTEREY, CA 93940  
(831) 886-7801

Landscape Plan **THE DUNES ON MONTEREY BAY PHASE 1B**  
Marina, California

Overall Schematic

www.vanderToolen.com  
Krupa Walker Creek  
C.C. Bonomo, Inc. 2015-2016  
Monterey, CA  
No. 2, C.I.  
No. 18  
No. 18  
No. 18



**L-2**  
Project No. 00115

**PROPOSED PLANT PALETTE**

SYMBOL	BOTANICAL NAME	COMMON NAME	MIN. SIZE	SPACING	APPROX. QTY.
<b>TREES</b>					
	CUPRESSUS MACROCARPA	MONTEREY CYPRESS	RELOCATED BIG BOX	AS INDICATED	2
	EUCALYPTUS FICIFOLIA	RED-FLOWERING GUM	24" BOX	AS INDICATED	7
	LYONOTHAMNUS FLORIBUNDUS	CATALINA IRONWOOD	24" BOX	AS INDICATED	31
	MELALEUCA LINARIIFOLIA	FLAX LEAF PAPERBARK	24" BOX	AS INDICATED	25
	METEROSIDEROC EXCELSA	NEW ZEALAND CHRISTMAS TREE	24" BOX	AS INDICATED	40
	EXISTING STREET TREE			AS INDICATED	16
<b>SHRUBS AND GROUNDCOVER</b>					
<b>FOUNDATION SHRUBS</b>					
	HAKEA SUTTORIANA	SEVRET HAKEA	5 GALLON	5' O.C.	
<b>MEDIUM SHRUBS</b>					
	CISTUS SPP.	ROCKROSE	5 GALLON	3' O.C.	
	DIETES BICOLOR	FORTNIGHT LILY	5 GALLON	3' O.C.	
	ECHINUM FRUTICOSUM	PRIDE OF MADEIRA	5 GALLON	4' O.C.	
	ESCALONIA COMPACTA	ESCALONIA	5 GALLON	3' O.C.	
	HEBE SPP.	HEBE	5 GALLON	3' O.C.	
	PHORMIUM T. MAORI SUNRISE	NEW ZEALAND FLAX	5 GALLON	3' O.C.	
	PHORMIUM T. SURFER	NEW ZEALAND FLAX	5 GALLON	3' O.C.	
<b>ACCENT SHRUBS</b>					
	COPROSMIA SPP.	MIRROR PLANT	5 GALLON	3' O.C.	
	ERIGERON KARVINISKIANUS	SANTA BARBARA DAISY	1 GALLON	2' O.C.	
	HEMEROCALLIS SPP.	EMERALD DAYLILY	1 GALLON	2' O.C.	
	KNIPHOFIA LIVARIA	RED-HOT POKER	1 GALLON	3' O.C.	
	PHORMIUM SPP.	NEW ZEALAND FLAX	5 GALLON	3' O.C.	
<b>GRASSES</b>					
	CAREX DISTICHA	BERKELEY SEDGE	1 GALLON	12" O.C.	
	FESTUCA GLAUCA	BLUE FESCUE	1 GALLON	1' O.C.	
	FESTUCA RUBRA	CREeping RED FESCUE	1 GALLON	1' O.C.	
	MISCANTHUS SINENSIS	EULALIA	1 GALLON	3' O.C.	
<b>GROUNDCOVER</b>					
	CORREA CARMINI BELLIS	AUSTRALIAN FUCHSIA	1 GALLON	4' O.C.	
	LIMONIUM PEREZH	STATICE	1 GALLON	1' O.C.	
	ROSA SPP.	GROUNDCOVER ROSE	2 GALLON	3' O.C.	
<b>VINES</b>					
	FICUS PUMILA	CREeping FIG	5 GALLON	10' O.C.	
<b>CALIFORNIA NATIVE SHRUBS</b>					
	ARCTOSTAPHYLOS HOWARD MCMINN	MANZANITA	5 GALLON	4' O.C.	
	CARPINTERIA CALIFORNICA	BUSH ANEMONE	5 GALLON	4' O.C.	
	CEANOTHUS CONCHA	WILD LILAC	5 GALLON	4' O.C.	
	ERIGERON GLAUCUS	BEACH ASTER	1 GALLON	18" O.C.	
	FREMONTIODENDRON C. YEN TAYLOR	DWARF FLANNEL BUSH	5 GALLON	8' O.C.	
	HEUCHERA SPP.	CORAL BELLS	1 GALLON	2' O.C.	
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	5 GALLON	3' O.C.	
	RHAMNUS C. MOUND SAN BRUNO	COFFEEBERRY	5 GALLON	4' O.C.	
	SALVIA SPP.	SAGE	5 GALLON	3' O.C.	
<b>CALIFORNIA NATIVE GRASSES</b>					
	LEYMUS C. CANYON PRINCE	WILD RYE GRASS	1 GALLON	2' O.C.	
<b>CALIFORNIA NATIVE GROUNDCOVERS</b>					
	ARCTOSTAPHYLOS EMERALD CARPET	GROUNDCOVER MANZANITA	1 GALLON	3' O.C.	
	CEANOTHUS G. H. YANKEE POINT	WILD LILAC	1 GALLON	4' O.C.	
	FRAGRARIA CHILCENSIS	WILD STRAWBERRY	1 GALLON	1' O.C.	
	ZAUCNERIA C. SCHIEFFELIN'S CHOICE	CALIFORNIA FUCHSIA	1 GALLON	2' O.C.	

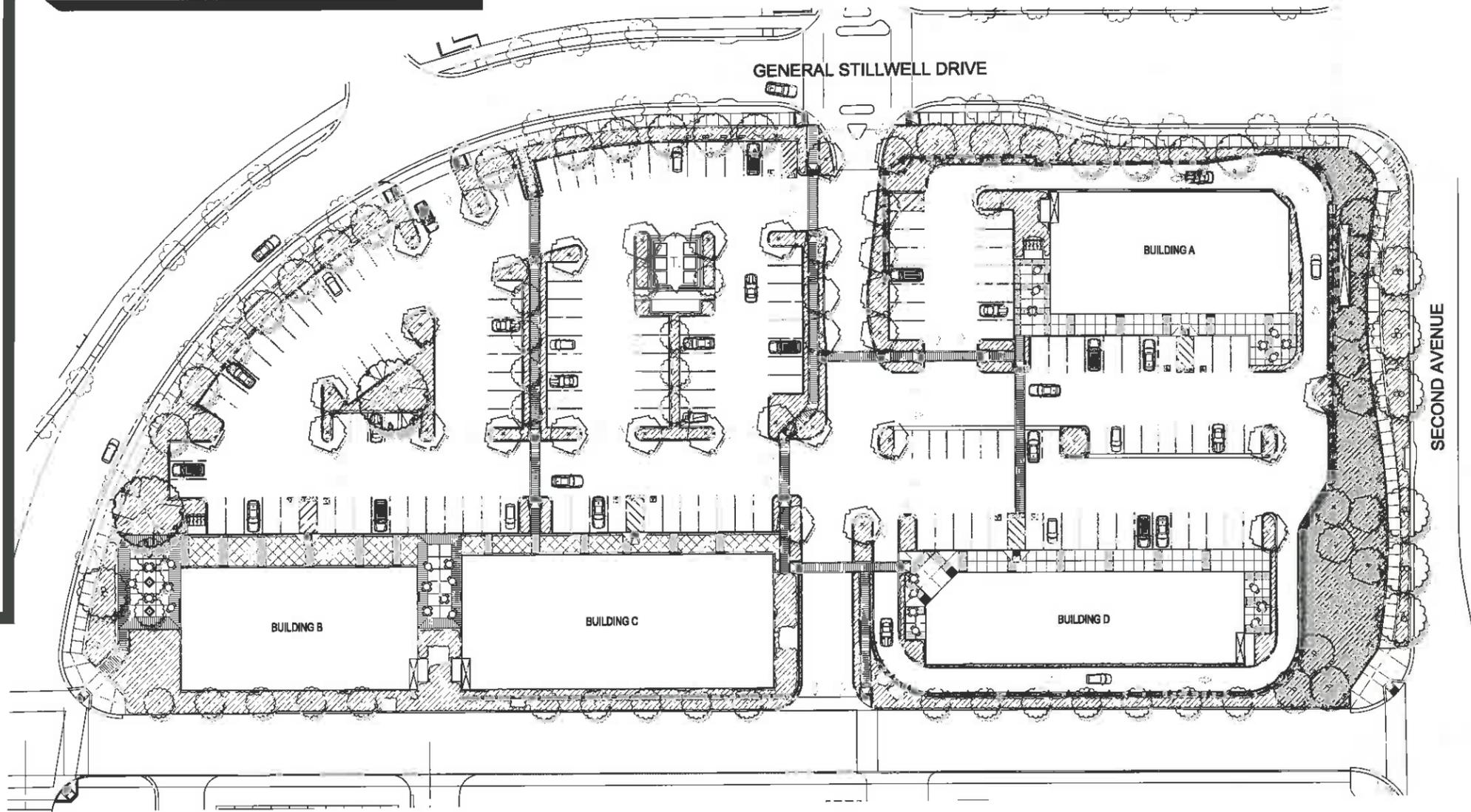
NOTE:  
 - PLANT PALETTE IS IN COMPLIANCE WITH THE ADOPTED TREE AND PLANT PALETTE FOR THE DUNES.  
 - PLANT PALETTE SUBJECT TO ADDITIONS BASED ON NEWER VARIETIES INTRODUCED SINCE THE 2005 UNIVERSITY VILLAGES (DUNES) DOCUMENT.  
 - ANY AND ALL NEW PLANTS INTRODUCED TO THE PROJECT SHALL BE SUBJECT TO APPROVAL BY THE CITY OF MARINA.

**WATER USE CALCULATIONS**

THE MAXIMUM APPLIED WATER ALLOWANCE (MAWA) IN GALLONS PER YEAR IS BASED ON THE FOLLOWING FORMULA:  
 $MAWA = (ET_o)(0.62)[(0.7 \times LA) + (0.3 \times SLA)]$   
 THE ESTIMATED TOTAL WATER USE (ETWU) IS THE SUM TOTAL OF ESTIMATED WATER USE FOR EACH HYDROZONE IN GALLONS PER YEAR AND IS BASED ON THE FOLLOWING FORMULA:  
 $ETWU = \frac{(ET_o)(0.62)[(PF)(HA) + SLA]}{IE}$

ET<sub>o</sub> = ANNUAL EVAPOTRANSPIRATION RATE  
 LA = TOTAL LANDSCAPE AREA (INCLUDES SLA)  
 SLA = SPECIAL LANDSCAPE AREA  
 HA = HYDROZONE PLANT AREA  
 PF = PLANT FACTOR (0.7 FOR TURF; 0.35 FOR SHRUBS)  
 IE = IRRIGATION EFFICIENCY FACTOR (0.71 MINIMUM)  
 0.7 = ET ADJUSTMENT FACTOR  
 0.62 = CONVERSION FACTOR (TO GALLONS/SQUARE FOOT)  
 0.3 = ADDITIONAL ADJUSTMENT FACTOR FOR SLA

MAWA = (36.2)(0.62)(0.7 x 34,360) = 539,823 GAL/YEAR  
 ETWU =  $\frac{(36.2)(0.62)(0.35 \times 34,360)}{0.71}$  = 380,157 GAL/YEAR



SKN PROPERTIES  
 540 EL DORADO STREET  
 MONTEREY, CA 93940  
 (831) 886-7801

Landscape Plan

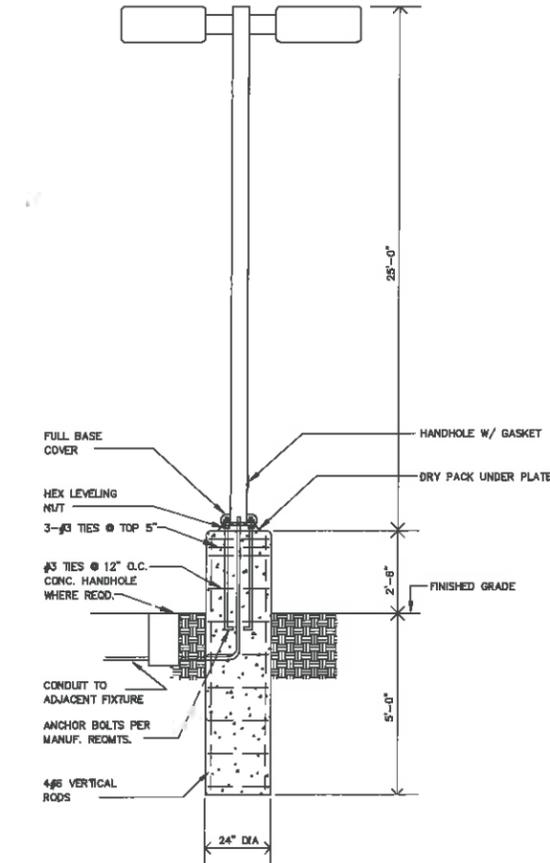
**THE DUNES ON MONTEREY BAY PHASE 1B**  
 Marina, California

Schematic Planting Plan

www.vanderToolen.com  
 VTA  
 213 228-2299  
 213 228-2299  
 Fax: 213 228-2299



**L-3**  
 NORTH  
 Project No. 00115



**POLE BASE DETAIL**  
NO SCALE

**McGRAW-EDISON**

**GLEON GALLEON LED**

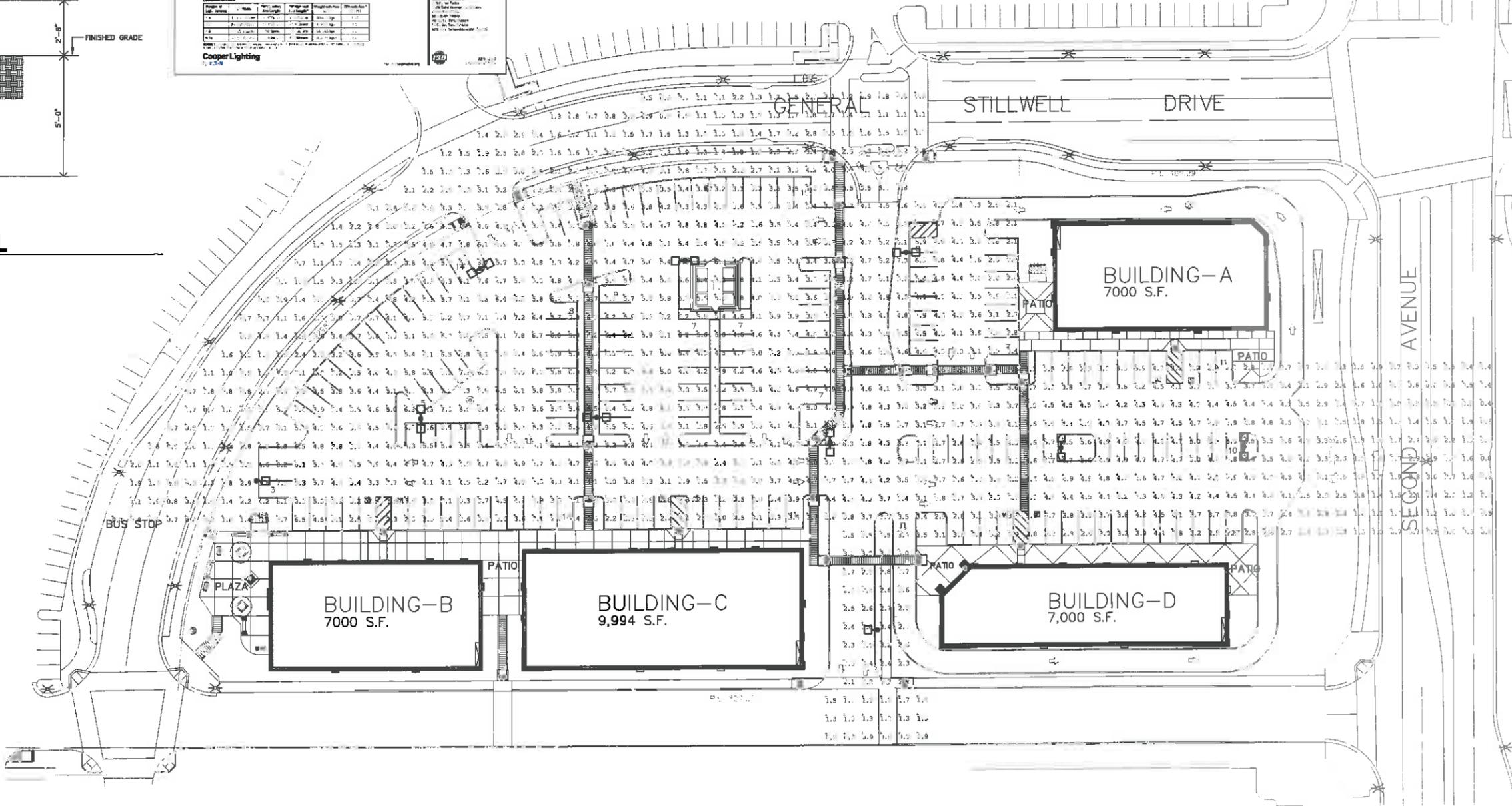
1-1/8" Light Sphere  
Solid Beam LED  
ANSI 80-LE-100-100

**DESCRIPTION**  
The GLEON™ LED is a new design energy efficient luminaire...  
**FEATURES**  
• 100% LED  
• 100,000 hours life  
• 100,000 lumens  
• 100,000 lumens  
• 100,000 lumens  
• 100,000 lumens

**COOPER LIGHTING**

Label	Qty	Label	Description	LLF	Lum. Lumens	Lum. Watts	BUG Rating
1	1	n	GLEON-LE-05-LED-E1-5/0	100%	26942	264	B5-U0-G3
2	1	n	GLEON-LE-05-LED-E1-T2R	100%	26119	261	B3-U0-G3
3	1	n	GLEON TVIN	100%	93884	526	N/A
4	1	S1	150PH STREETLIGHT	0.750	7262	150	N/A
5	1	S2	150PH STREETLIGHT - TWIN	0.750	14524	300	N/A
6	1	S22	73PSM DECO STREETLIGHT - TWIN	0.750	5912	415	N/A

Label	Units	kg	lbs	Min	Max
Label	Fc	3.60	9.3	0.4	9.00
CalcPts	Fc	4.32	9.3	2.0	21.6
SITE	Fc				4.65



**SITE PHOTOMETRIC PLAN**  
SCALE 1" = 30'-0"

NO.	REVISIONS	BY	DATE
1			
2			
3			
4			

**HOWE Electric Construction, Inc.**  
ELECTRICAL, CONSTRUCTION SERVICES  
CONTRACTORS LIC. #88874-01-00000000  
CONTRACTORS LIC. #88874-01-00000000

**MARINA SHOPPING CENTER**  
S.W.C. OF SECOND AVENUE AND GENERAL STILLWELL DRIVE  
MARINA, CA 93933

DRAWN BY	4/14/2018
PLOT DATE	4/14/2018
DATE	4/14/2018
SCALE	AS NOTED
JOB NO.	15003
SHEET	

**SE1P**  
OF x SHEETS